

# Old Market Quarter Neighbourhood Development Plan

2015 - 2026

Made part of the development plan March 2016



Old Market Quarter Future

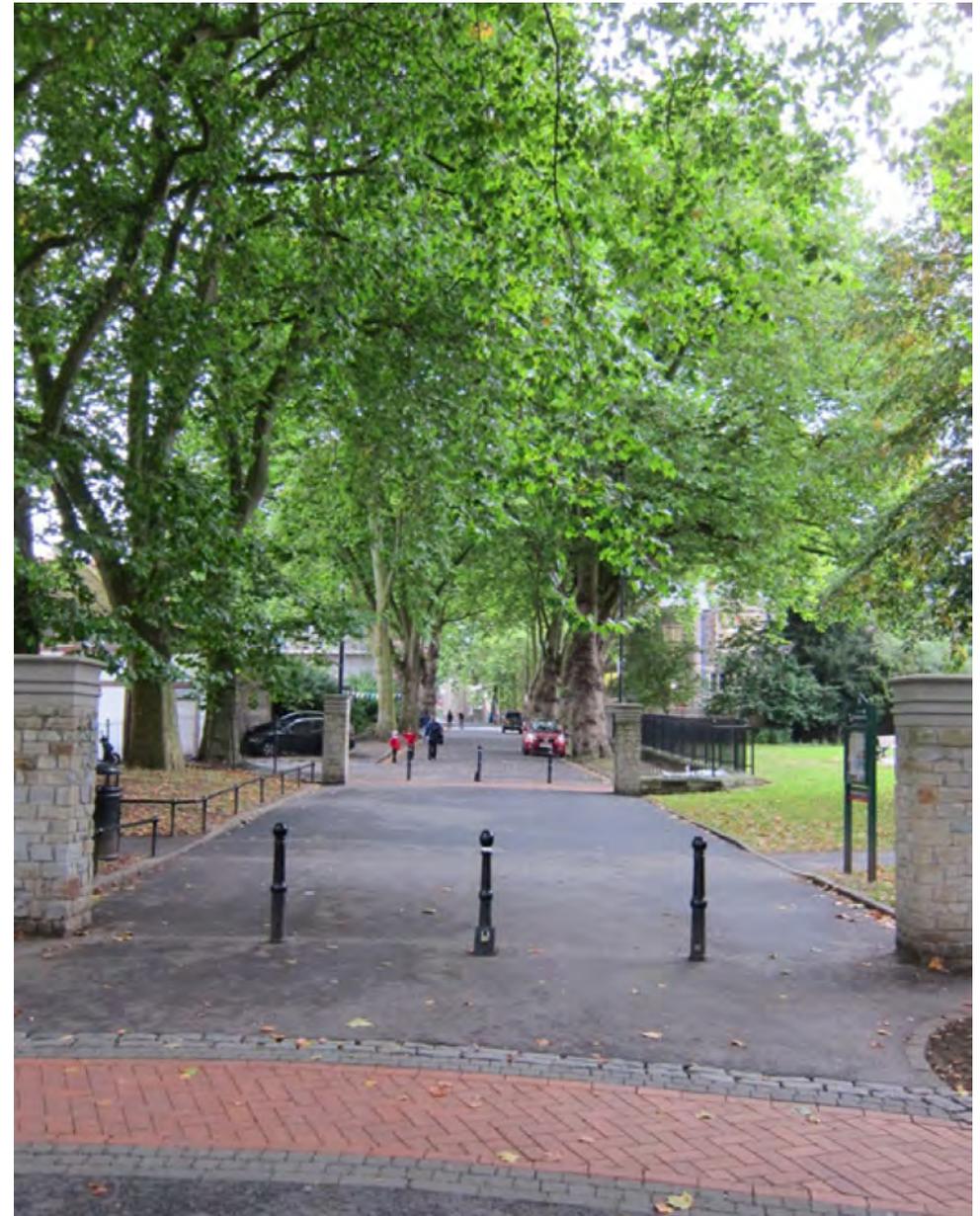
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The plan is dedicated to the memory of Dorothy Brown MBE, who led the campaign to preserve buildings in Old Market threatened by redevelopment in the 1960's among many others in Bristol.



*St Matthias Park in Old Market Quarter*

# Foreword

I have a large collection of old postcards of Bristol. They show the bustling centre of our city, from College Green to Old Market, as it was in the early years of the last century, before the Blitz took its toll. But Old Market survived the war largely intact. It took a couple of decades of council neglect and population change to send the area into decline, cut off from new shops in Broadmead and Cabot Circus by insensitive road schemes.

Now Old Market is pulsating back into life. A decade ago hardly anyone lived there but now in 2013 it is home to thousands. New shops and businesses have opened and thrived. Some of the shops serve the new residents, others are more quirky and draw people in from around the city and further afield. While Broadmead is pretty quiet at night, Old Market is teeming with life, with some of its bars appealing to gay people from around the West Country.

So much progress has been made in a short space of time and the efforts of some dedicated individuals are to be praised. The Old Market Community Association has now developed a plan to re-establish the area as one of the most desirable quarters of the centre of Bristol. They have worked with local residents and businesses and now want to make sure that their ideas have the support of the whole community.

The plan puts the needs of people first, ahead of the cars and vehicles that cut through the area. Old Market should be a busy thoroughfare, as it always has been, but people need more space. So I particularly like the idea of widening the pavement nearest the heart of the city so it can host outdoor eating, entertainments and, of course, a market!

But the plan has many other proposals, to attract more residents and new shops and to conserve the many historic buildings in Old Market. It has been a pleasure to meet with the members of the community group on several occasions as they have developed their vision. I hope their plans will enjoy wide support and with enthusiastic participation by local residents and other civic leaders I'm sure the end result will be even better. I look forward to seeing the further positive transformation of Old Market over the coming years.

Stephen Williams, September 2013

Member of Parliament for Bristol West 2005-2015

Parliamentary Under Secretary in the Department of Communities and Local Government 2013-2015

# Contents

## Introduction

### 1. Context and Character

- 1.1. Location
- 1.2. History
- 1.3. Population and housing
- 1.4. Economy
- 1.5. Environment

### 2. Challenges

- 2.1. Strengths
- 2.2. Weaknesses
- 2.3. Opportunities
- 2.4. Threats

### 3. How the plan will be used

- 3.1. For making planning decisions
- 3.2. To inform developers
- 3.3. For planning future projects in the area
- 3.4. Potentially to allow more decisions to be taken locally

### 4. Preparing the plan

- 4.1. Neighbourhood plan regulations
- 4.2. Who has prepared the plan

### 5. Our vision for Old Market Quarter

### 6. Aims of the plan

- 6.1. To enable people to move around better
- 6.2. To improve the attractiveness of the area through beautiful old and new buildings
- 6.3. To encourage more employment, better shops, housing and local facilities
- 6.4. To protect and enhance open spaces
- 6.5. To improve the health and wellbeing of the population

### 7. Policy and principles

- 7.1. Getting around better
- 7.2. Attractive old and new buildings
- 7.3. Better employment, shops, housing and local facilities
- 7.4. Protect and enhance open spaces

Appendix 1 - Site Specific Development Guidance

Appendix 2 - Projects:

Public realm projects

Transport related projects

Site development projects

Community related projects

Appendix 3 - Old Market Quarter design code

Appendix 4 - Old Market Quarter shop front design guidelines

Appendix 5 - Old Market Quarter listed buildings and unlisted buildings of merit

Appendix 6 - Old Market Quarter community Facilities

Appendix 7 - Old Market Quarter residential development forecast

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# Introduction

Up until only a few decades ago Old Market was one of the most important neighbourhoods in Bristol. An ancient market place (hence its name) running from the centre of the city out to the Eastern suburbs, it served as one of the major shopping and entertainment areas of the city as well being a crucial bus connection point. It had a bustling night life with a cinema, pubs, clubs and a large theatre. With a high concentration of shops along the main road it was often referred to as the Golden Mile. It also served as the high street for the neighbouring communities in the Dings, St Jude's and Newtown.

However much can change in a few decades; strategic planning decisions such as the implementation of the inner ring road, slum clearances and the creation of the Broadmead Shopping area have left Old Market and its surrounding neighbourhoods effectively cut off from the city. Much of its long established community was re-housed in other parts of Bristol. The area became somewhat forgotten and suffered from years of low investment. Local residents eventually found themselves lacking even basic amenities such as shops selling fresh food. In many senses it had become merely a shadow of its former self.

Just over four years ago a group of traders, residents and business owners came together to form the Old Market Community Association. The main aim was to give the local community a collective body that could discuss and consider the various issues that people felt needed addressing within the neighbourhood. Many things were changing, in and around Old Market and members of the association wanted to have a positive input into making sure these changes helped to create a viable and sustainable basis for a growing community.

We were given vital guidance from The Prince's Foundation for Building Community who have supported us over the past two years. They helped us host a large community workshop in September of 2011 which galvanized our approach to the various issues we faced. We recognised that a huge amount of work had to be done to improve the area and we wanted an effective method of shaping the future of our neighbourhood. The group opted to take advantage of emerging national planning policy and become one of the first communities in Bristol to write a Neighbourhood Development Plan.

A major reason behind choosing this approach was the fact that a newly designated planning area, Old Market Quarter, could encompass the adjacent neighbourhoods of The Dings, St Jude's and Newtown. The group felt it was important to consider a wider area than just Old Market. The historical connections and geography of the area would make a plan less effective if it dealt with Old Market in isolation. Many potential development sites are to be found within these areas and it was considered that including these within the plan, would be a benefit to the wider community.

The opportunity to reverse years of decline and take advantage of a number of unique development opportunities and a growing population have combined to drive the Old Market Quarter Forum to create this plan to regenerate their neighbourhood and create a better connected, better serviced and more beautiful place for all. The plan has been written by members of the community with guidance and input from valued individuals and advisors.

The plan sets out to guide development and growth in Old Market Quarter until 2026 and beyond.

A wide range of ideas were expressed during the process of developing the plan, many of which extended beyond what could be accomplished solely by a Neighbourhood Development Plan. Therefore a number of projects that are not part of the Neighbourhood Development Plan are set out in Appendix 2 and are included as they reflect the long-term hopes of many local people.

Paul Bradburn  
Chairman Old Market Community Association

# 1. Context and Character

## 1.1 Location

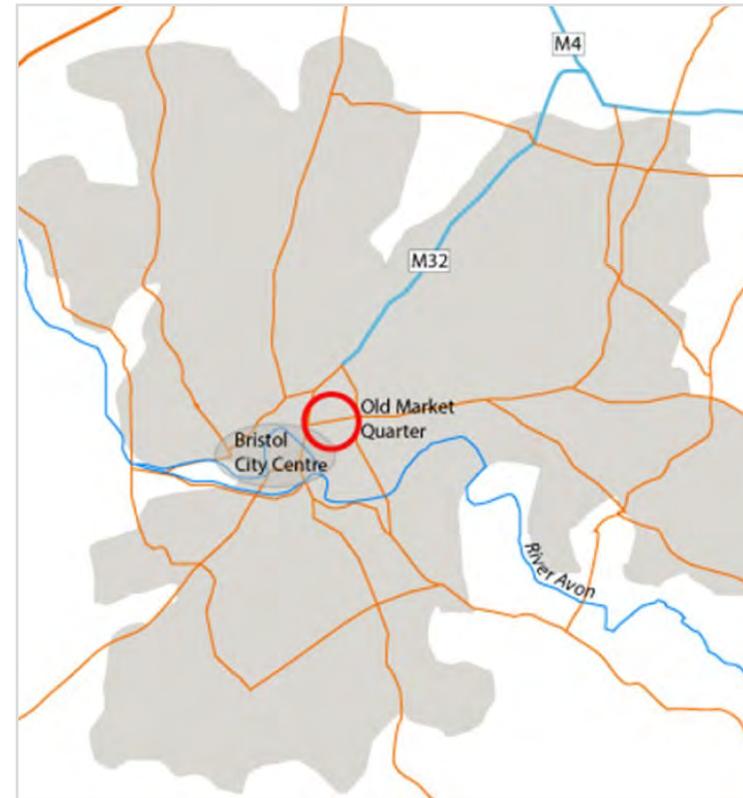
Old Market Quarter is to the east of Bristol City Centre. It is centred on the old market place, which developed immediately to the east of the old Castle Walls on what was the historical road to London. It is strategically located between Temple Meads Station and the main city centre shopping quarter.

Whilst centred on the historic route of Old Market and West Street, the area includes the streets and backlands that have historically supported this market street, as well as both residential and industrial estates that have been developed over the last 100 years. The area includes the following 7 neighbourhoods: St Matthias, Broad Plain, Trinity, Waterloo, Newtown, the Dings and St Jude's. In the context of this plan the high street (or as sometimes referred to as "Local centre") are the main streets servicing the area; Old Market Street and West Street and the adjacent parts of Midland Road and Lawford Street.

In terms of connectivity Old Market Quarter is less than a 10 minute walk from Temple Meads railway station, 5 minutes to Cabot Circus and Broadmead shopping centres and 5 minutes to the M32. It was the main tram termination point in the city and is now a major bus connection within the public transport network. One of the busiest cycle paths in the country enters Old Market Quarter at Newtown Park with over 4,000 regular daily users.

Old Market Quarter is also adjacent to the recently designated Bristol Temple Quarter Enterprise Zone which sits on its southern boundary. Temple Quarter is one of the largest urban regeneration projects in the UK; 70 hectare area in the heart of the city, with Temple Meads railway station at its centre. Its targets are to create 4,000 jobs in the first five years and around 17,000 in the 25 year lifespan of the project. It is anticipated that the Old Market Quarter will benefit from service companies springing up around the Enterprise Zone and from the day-to-day needs of people who will work in it. The Enterprise Zone will benefit from a large amount of investment in its infrastructure, including £21 million to improve the vehicle, cycling and pedestrian access in the area. Some of this investment will be directed towards Old Market to improve the connectivity between the two areas.

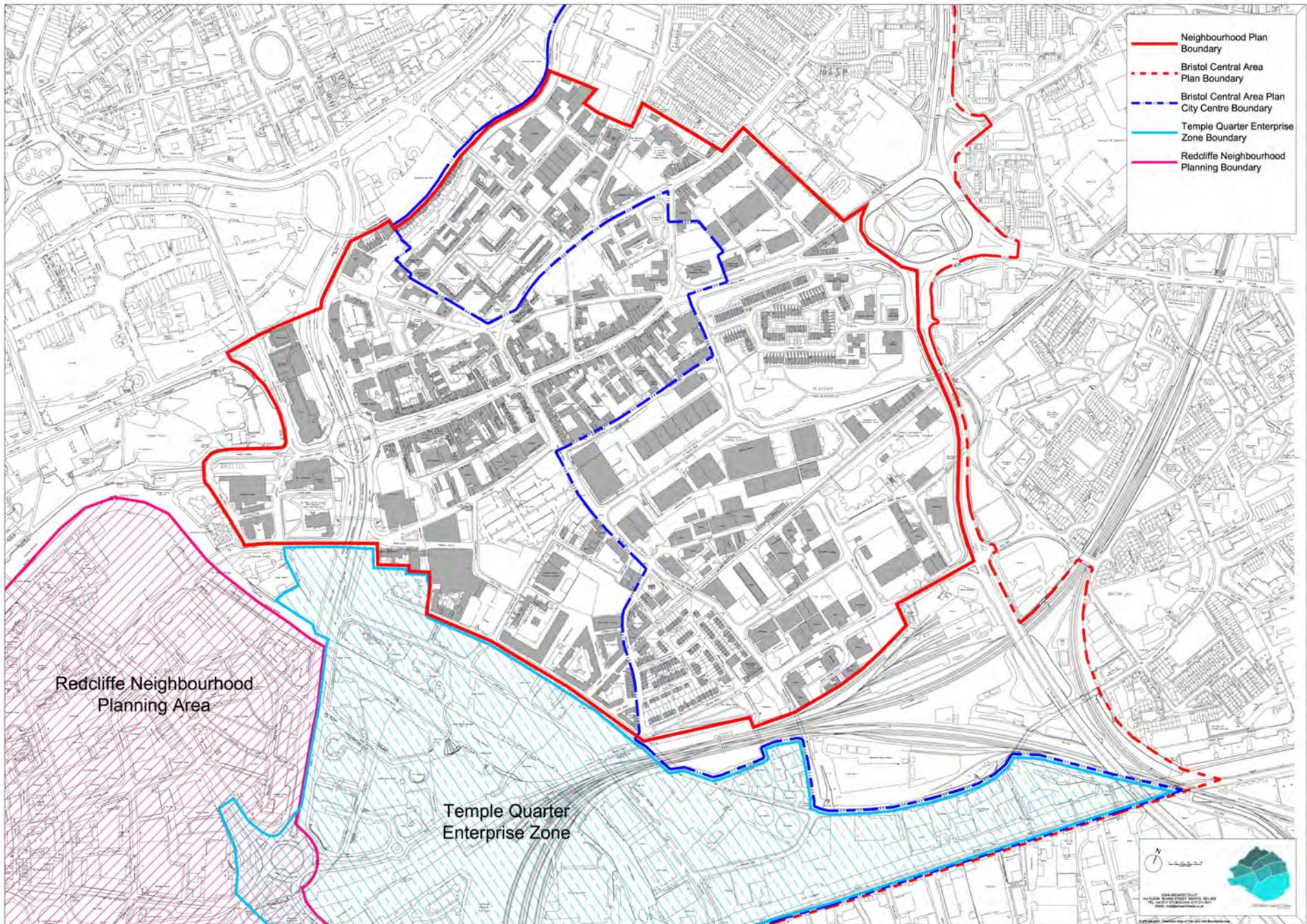
The whole of Old Market Quarter is within the boundary of the Bristol Central Area Plan, but only the western half of Old Market Quarter is within the boundary of Bristol City Centre.



*Old Market Quarter's location in Bristol*



*The 7 neighbourhoods in the Old Market Quarter planning area*



Map 1: Old Market Quarter Neighbourhood Planning Area

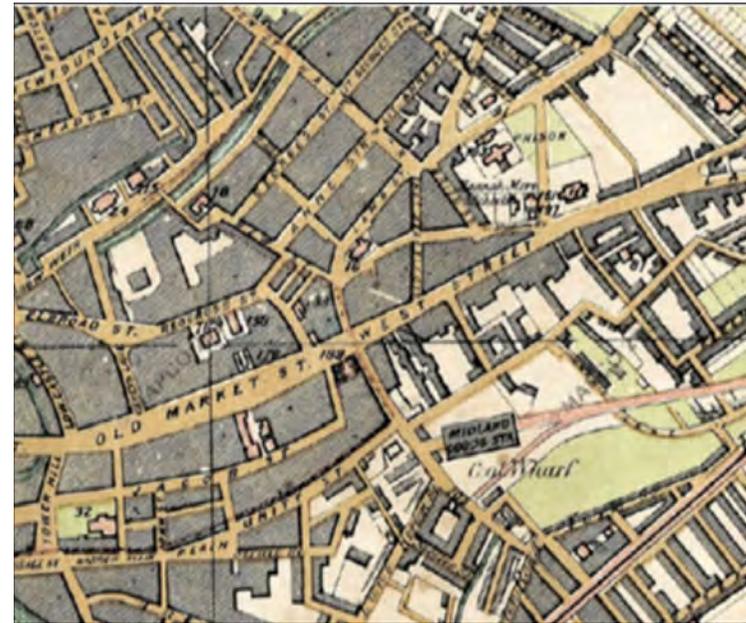
## 1.2 History

Old Market can trace its existence as far back as the 12th century, when it was a collection of market gardens located just outside the Castle's East Gate. The 13th century saw the building of Lawford's Gate at the eastern end of Old Market Street which became a wide market road that narrowed into the gates at each end. The street was lined with buildings on long narrow burgage plots additionally served by rear lanes. The land to the east of Lawford's Gate was outside the walls of the town, and the road passing through it (West Street) formed the main eastern route into Bristol.

Prior to the Civil War, both Old Market Street and West Street were well developed, however due to extensive damage much of the area was rebuilt in the 17th century. Some of these 17th century reconstructions still remain today. After the civil war, Bristol Castle and the East Gate were demolished which meant that Castle Street and Old Market Street formed a single commercial street. West Street continued to form the main eastern entryway into Bristol. The main routes were largely inhabited by professionals, merchants and the wealthier classes. The working class population lived in rear courts and terraces that lined secondary routes.

Lawford's Gate was demolished in the 18th century which allowed West Street, Old Market Street and Castle Street to form a continuous uninterrupted route into Bristol. At the same time there was considerable development of industrial activity in the south west segment of the Old Market Quarter spreading up from the River Avon. The coming of the railways saw the construction of a station and large goods yard by the Midland Railway which gave its name to the road serving them. Old Market continued to function as a market until late in the 19th century, when the introduction of trams and wheeled transport made trade difficult, although it continued to flourish as a shopping street until WW2. As Old Market's economy shifted from trade to a shopping district, the traditional pattern of the district was lost; narrow plots were amalgamated in redevelopments which fronted historic rear lanes.

During the blitz in World War II, the area now known as Castle Park was largely destroyed. By the 1950's, many parts of Old Market Quarter were seen to be slums and large areas were cleared for social housing and public open space. The commercial core of the city was moved to Broadmead forcing businesses to move from Old Market. The construction of Temple Way in the 1960's created a physical barrier to Old Market isolating it from the commercial centre of Bristol as well as further eroding the historic street and plot patterns. A Development Plan brought forward in 1966 identified a large number of Old Market's historic buildings as due for redevelopment causing further amalgamation of plots and the destruction of historic buildings. Old Market was then in a critical condition, with many of its historic buildings demolished or decayed or replaced by insensitive post war reconstruction and redevelopment. It was only due to the action of local conservation groups that Old Market escaped complete destruction.



*Old Market 1863*



*Old Market 1903 - railways and industrialisation take over open space*



*Old Market Quarter today - major transport infrastructure has isolated the area*

## 1.3 Population and Housing

Data from the 2011 Census shows the population of Old Market Quarter to be 4,620, which represents a considerable growth since 2001, when the population stood at around 2,000. This change makes it one of the City Centre's fastest growing residential areas and its population is expected to increase further as it also has one of the lowest population densities in the City Centre. Between 2011 and 2026, the growth in population will continue and is anticipated that it could increase by a further 3,500.

The data shows some significant differences between Old Market Quarter, Bristol and National percentages as set out in the table below.

		Old Market	Bristol	England & Wales
Population	Full time students	20.5%	8.3%	4.4%
Ethnicity	White total	57.4%	84.0%	86.0%
	BME total	42.6%	16.0%	14.0%
Main language	Not English	23.4%	8.5%	7.7%
Economic activity	Retired	4.6%	9.8%	13.8%
Travel to work	By car or van	23.3%	49.9%	57.5%
	On foot	48.0%	19.3%	10.7%
Household space	Houses	14.2%	65.6%	78.0%
	Flats	85.8%	34.4%	21.6%
Household tenure	Owned	16.4%	54.0%	63.5%
	Social rented	41.4%	20.3%	17.6%
Car availability	None in household	57.2%	28.9%	25.6%

The fast changes and influx of people have meant that there is an extremely diverse community whose needs must be accounted for. Some facts:

- In recent years the area has become a focal point for Bristol's gay community.
- There are a large number of immigrants, both from Europe and other countries.
- There is a large Somali population and mix of other ethnic minorities.
- There are a small number of residents who have lived in the area all their lives.
- An increasing number of residents are "young professional".
- There is a plentiful supply of sheltered and student accommodation.
- There is a demand for larger family homes.

The Easton and Lawrence Hill Housing Needs and Requirements Study 2007 identified a need for 480 new homes annually over a 5 year period split 44.5% market housing, 20.5% intermediate housing and 35% social rented housing. The

study also identified a requirement to provide a more diverse mix of dwellings, with a net requirement of 29% 3-bedroom affordable housing, 12% 3-bedroom market housing and 8.5% 4-bedroom market housing. The 2011 census shows that since 2001 80% of new dwellings completed in the area have been flats. It also shows that 34% of households in the area are single-person. There has been a recent rise in private rented sector tenure but these are usually via 6-month short term leases which do not help in establishing a solid community. The 2009 West of England Strategic Housing Market Assessment shows the need for social rented dwellings in Bristol Inner East as 100% for family dwellings 2 - 4 bedroom and 0% for 1 - 2 bed flats. The demand for family housing is clearly illustrated by rehousing applications from households in the Lawrence Hill Ward requiring 3+bedrooms where the average number of bids received by the Council for a 3-bedroom house in the period April 2012 to March 2013 was 140.

The number of extant and completed planning applications, in the table below, shows how few larger homes have recently been planned for the area.

	1 & 2 Bed Flats	3 Bed Flats	Houses
Completed between 01/04/11 and 01/04/14	240	9	19
Extant planning applications up to 01/04/14	180	30	17
For details see Appendix 5 - Old Market Quarter residential development forecast			

## 1.4 Economy

The high street is the heart of the Old Market Quarter community, providing the Old Market Quarter neighbourhood with day to day goods and services. At the same time the high street has a large number of specialist shops, making it a destination for visitors from other areas of Bristol and neighbouring towns. Third sector businesses (comprising non-governmental and non-profit-making organisations or associations, including charities, voluntary and community groups, cooperatives, etc.) form another important part of the local economy with a strong presence on the high street.

Alongside daytime activities there is a vibrant night time economy, which includes the gay community. The area features a number of Public Houses, music-venues, bars and clubs and the well-known Trinity Community Arts Centre.

However, the area's retail sector is struggling as a result of the proximity of Cabot Circus, the economic downturn and shifting consumer spend away from the high street, and lies with a retail property vacancy rate of 12,8% (Oct 13) significantly above the citywide vacancy rate of 7.5%.

Old Market Quarter has an active and diverse business sector. Significant employment is provided by the businesses that occupy the three industrial areas along the eastern border of the neighbourhood and many offices of different sizes that are spread throughout the area.

The development of Bristol Temple Quarter Enterprise Zone to the south of the neighbourhood also represents a positive factor both in terms of infrastructure and employment opportunities.

While there is an economically active population, the average household income is still one of the lowest in Bristol (estimated at around £23,000) and the percentage of people claiming benefits is 26%, similar to other deprived areas in the city. A lower than average number of households has car availability and almost 50% of residents walk to work.

## 1.5 Environment

The topography of the area is formed by an east/west ridgeline corresponding to West Street and Old Market Street that falls away to the estuarine alluvial plains of the rivers Frome and Avon (St Philips Marsh). Consequently there is little of the Quarter that is subject to flood risk; only on the northern edge alongside the River Frome and on Avon Street to the southeast.

The area's core, Old Market Street and West Street, retains much of the historic street pattern and dense urban structure of 2-4 storey buildings punctuated by notable landmarks. This is reflected by its designation as a conservation area in 1979. Away from the core the urban pattern that was well developed by the end of the 19th century has been lost due to; slum clearance and rebuilding in St Judes to the north in the 1950s and in Newtown to the east in the 1970s, demolition of buildings to create large areas of surface car parking to the south and severance caused by construction of Temple Way to the east in the 1960s. The former railway land to the east of Midland Road is now a typical industrial estate, bland and lifeless, suffering from a lack of active frontage. The Dings, on the southern edge of the area, is characterised by 1930s development of short terraces and semis, built to replace Victorian era back-to-backs, alongside the recent 'Zone' development. These two together form a 'homezone'.

Intensive urban development over the whole area in the past has left very little original natural ecology. Areas where industrial processes have ceased or sites have been cleared of buildings have begun to be colonised by nature. This re-colonisation has led to the designation of the former Midland Railway line as a wildlife corridor. The River Frome is another wildlife corridor (not designated as such). Both these of corridors are designated 'greenways' for cycling and walking.

There are a number of parks and open spaces within the Old Market Quarter; most are small and each has its own character. Newtown Park is the largest and a natural extension to the wildlife corridor on the former railway. George Jones, St Matthias and The Dings Parks are well established small urban Parks. The much larger Castle Park forms the eastern boundary of the area. Other important open spaces are the church yards at St Philip and St Jacob and at Holy Trinity; the former is used as a commuter's car park and the latter as allotments. There are also pockets of mature trees and some tree lined roads in the area but overall the impression is that the natural environment is sparse.



*Aerial View Clarence Road, West Street and Old Market Street*

Modern aerial imagery © Blom Pictometry

## 2. Challenges

### 2.1 Strengths

- Old Market Quarter's unique character, diverse range of buildings, central location and key opportunity sites make it an ideal place for investment and regeneration.
- The area has a strong sense of local community and gains much strength from its diversity which includes the gay community, a large Somali population, a mix of other ethnic minorities as well as young professionals, students and some residents who have lived in the area all their lives.
- The area is within a stone's throw of the city centre and Temple Meads railway station making it accessible to key activities in the city and beyond.
- The growing population is an asset to the area.
- Old Market has one of the lowest crime rates in the city centre.
- The area provides has a specialised retail sector and a growing third sector alongside significant employment provided by the businesses that occupy the Principal Industrial and Warehousing Areas (PIWAs) on the eastern side of the Neighbourhood.

### 2.2 Weaknesses

- Old Market Quarter suffers as a result of the severance caused by major roads.
- The destruction of Castle Street together with the building of Temple Way Underpass obliterated the western end of Old Market Street and has effectively disconnected the Neighbourhood from the city.
- The ring road has also effectively cut off the direct routes into the city from the east that previously passed through the Old Market Quarter.
- Long identified as the 'gateway to Bristol' the area has been left on the outside and, like many city fringe areas, has seen businesses relocate to new city centre developments.
- As major office and commercial developments have taken place around Old Market Quarter, residents have become increasingly isolated due to more traffic on bigger roads.
- A lack of maintenance of many of the historic buildings and open spaces has detracted from the quality of the area.
- Public open spaces have been given over to cars rather than people, reinforcing the view that Old Market Quarter is not a pleasant place to visit or move through.
- The inappropriate conversion or redevelopment of many commercial premises has left many shop fronts unviable as retail units, and undermined much of the fundamental nature of Old Market Street and West Street as the local high street.

- Recent residential developments have seen a general bias towards one and two bedroom dwellings, mainly flats. These are often designed with little or no dedicated outdoor communal space. Hardly any 3, 4 or 5-bedroom dwellings have been built in the past 20 years.

### 2.3 Opportunities

- Old Market Quarter has a number of open spaces, schools and community facilities, but these need enhancement to make the neighbourhood a great place in which to live.
- Old Market Quarter has many sites which offer unique development opportunities.
- The allocation of funding from the Local Sustainable Transport Fund for improvements to Old Market Street provides an opportunity for the area to once again become a focal point for people.
- The new Enterprise Zone will create an opportunity to strengthen Old Market Quarter's role as a major hub for potential employees and users of the growing Enterprise Zone.
- With Old Market being the closest established community and high street to the Enterprise Zone, the improvement of key pedestrian and cycle routes will promote movement between the areas, enhancing access for people to jobs, shops, eateries, workplaces, housing, etc.
- Key pedestrian and cycle routes could also provide a safe, sustainable and pleasant environment in which people can commute to and from their work places.
- Old Market Quarter's rich heritage makes it an interesting area. There is an opportunity to make it more of a destination for visitors to the city.
- Historically the area supported many markets which could be reintroduced to provide local shopping needs.

### 2.4 Threats

- Insufficient funding.
- Council investment going to other areas of the City.
- Lack of interest by developers.
- Weakness in the application of Local Plan and Neighbourhood Plan Policies in the Development Control process.
- Failure to take enforcement action over breaches of planning control.

## 3. How we will use the plan

### 3.1 To guide planning decisions

When passed at referendum and made, the plan will be used mainly to help deliver planning decisions compatible with local aspirations. The local planning authority will determine planning applications in accordance with the neighbourhood plan in addition to other policies in the Bristol Local Plan (see 4.1). Bristol City Council will therefore be expected to check that development proposals are in keeping with the plan's policies which the community has developed and set out in section 7.

### 3.2 To inform developers

The plan will also be used by developers to understand the aspirations of the community for the area when looking to change the use of existing buildings or propose new buildings. The community welcomes positive development in the area that will help deliver their vision of a better connected, greener Old Market Quarter that celebrates its history through its unique buildings and provides better facilities for local people. The plan recognises the need for appropriate development to make this happen, and sets out the criteria for how this may happen.

### 3.3 For planning future projects

This plan is followed by a series of aspirational projects in chapter 8. These have been selected by local people and set out the ways in which they wish to see improvements to Old Market Quarter to make the area a more attractive place to live and visit. The community will work with Bristol City Council and other stakeholders to bring these forward over the plan period.

These projects can be a focus for community action and in some cases can be supported by local development opportunities set out within the plan.

### 3.4 Potentially to enable more decision to be taken locally

The government has now made it easier for areas with an NDP to kick start the process of creating a community council or neighbourhood council. Old Market Quarter could consider this possibility following the NDP approval. A community council would give the community the opportunity to implement more easily some of the proposed projects. It would enable us to run local facilities such as community centres, manage parks, establish bylaws, run job clubs, fund community groups and use the community rights and help stop the clock on the sale of important local assets such as pubs and green space. These would be funded through the council tax – setting a 'precept', an additional element of council tax, collected by the local authority and paid to the community council.



*Old Market Street looking west*



*West Street looking east*

## 4. Preparing the plan

### 4.1 Neighbourhood plan regulations

The Localism Act 2011 established the right of communities to prepare Neighbourhood Development Plans to respond to the needs of their local area and to create a genuine grassroots approach to setting planning policy. In 2012, the Government published the Neighbourhood Planning Regulations which set out the rules governing their preparation and adoption as statutory planning documents and how they must:

- Be compatible with European Union obligations and human rights requirements.
- Be in keeping with National Planning Policy Framework.
- Contribute to the achievement of sustainable development.
- Be in general conformity with the strategic policies of Bristol City Council's Local Plan.

The Bristol Local Plan comprises the Core Strategy, the Site Allocations and Development Management Policies and Bristol Central Area Plan. These documents have all been referred to in preparation of this plan.

How this plan conforms with national and local planning policy, contributes to sustainable development and is compatible with EU legislation is set out in a separate document, the 'Basic Conditions Statement'.

### 4.2 Who has prepared the plan

The Neighbourhood Plan has been initiated and developed by residents of Old Market Quarter and in particular by members of the Old Market Neighbourhood Forum, a group of residents, business owners and supporters brought together to bring positive change to the area. They have been supported by Bristol City Council, as well a funding from the Department for Communities and Local Government which has paid for support from the Prince's Foundation for Building Community. Support has also come from Locality, the Quartet Community Foundation, Destination Bristol, planning advisors to the Neighbourhood Planning Network in Bristol and ESHA Architects.

The timeline on the right shows the process that took place for preparing the plan. There were two phases of consultation that took place locally.

Information on the process of community consultation and the results thereof are set out in a separate document, the 'Consultation Statement'.



*The Old Market wish cart collecting people's wishes outside Trinity Centre, December 2013*

## TIMELINE FOR PREPARING THE PLAN (NDP)



## 5. Our vision for Old Market Quarter

Old Market and West Street will once again become the Neighbourhood's High Street, putting the market back into Old Market - a place that is easy to get to for everyone, to shop and relax at the heart of a vibrant Neighbourhood.

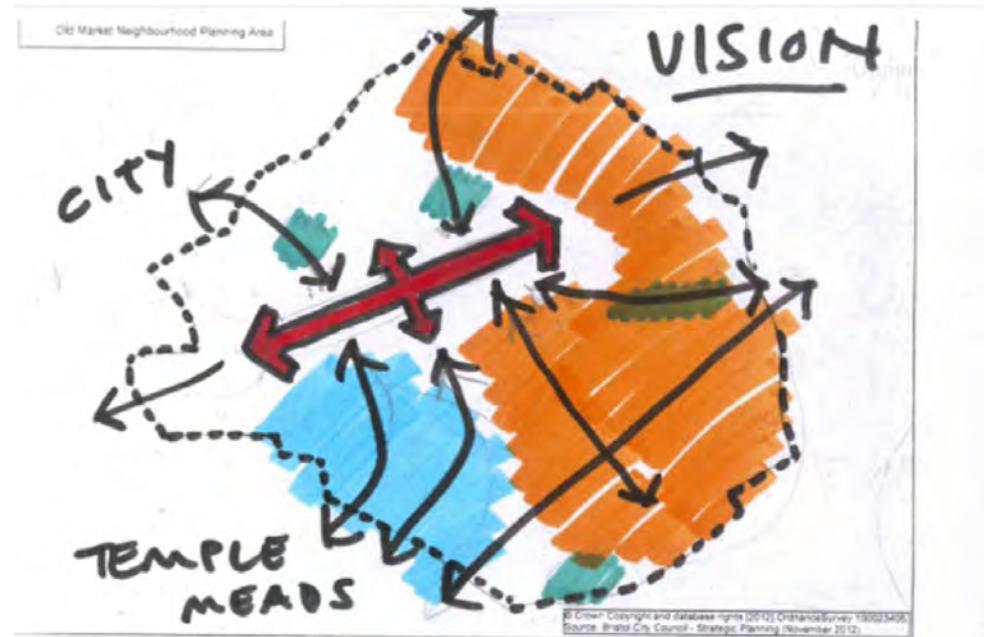
Old Market Quarter will be known for its beautiful buildings, both old and new and they will be well connected by a network of safe and enjoyable streets. Green spaces will be protected and enhanced to provide space for rest and relaxation in the middle of the City for residents and visitors.

An attractive mix of shops, cafés, bars, offices, arts and community facilities along Old Market and West Street will ensure that the area is well known as a great place to live, work and visit. The plan will help to promote a balanced and diverse community with a mix of housing types for people at all stages of their lives.

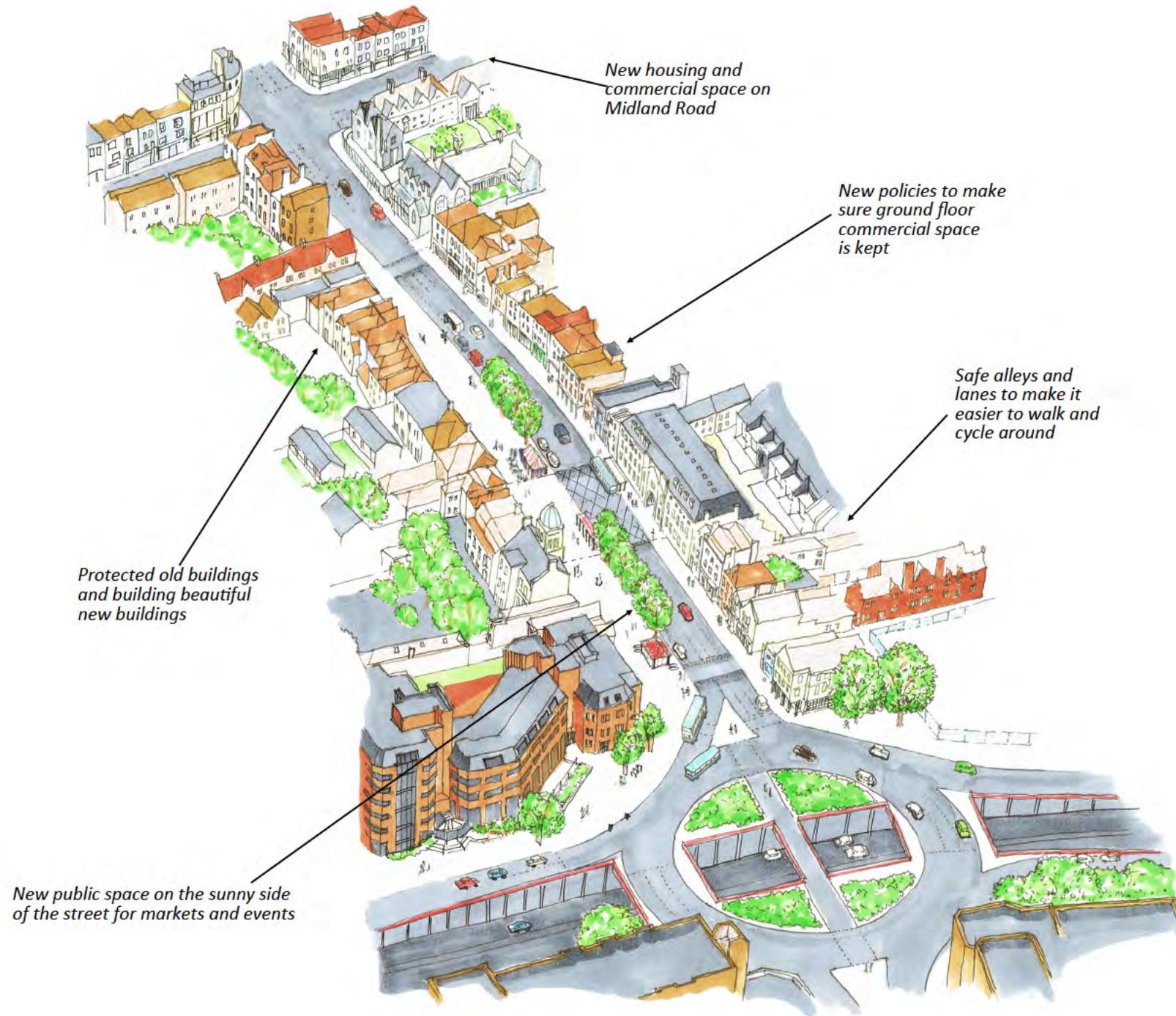
Implementation of the plan will help to improve the health and wellbeing of all those who live and work in the area.



Old Market Street



-  Attractive 'New + old' Market
-  Getting around better
-  Greener spaces
-  Attractive businesses + housing
-  Attractive offices + housing



*New housing and commercial space on Midland Road*

*New policies to make sure ground floor commercial space is kept*

*Safe alleys and lanes to make it easier to walk and cycle around*

*Protected old buildings and building beautiful new buildings*

*New public space on the sunny side of the street for markets and events*

## 6. Aims of the plan

### 6.1 To enable people to move around better

This will be done by rebalancing Old Market Quarter to focus on people, street activities and businesses instead of motorised vehicles. The Old Market Street Improvement Scheme will be at the heart of this, utilising funding from the Local Sustainable Transport Fund to create a significant high quality public space on the north side of the street. This will make Old Market an important destination for people to get off public transport and shop or walk through to the City Centre or Enterprise Zone and Bristol Temple Meads and reconnect the North and South sides of the street.

North/ South pedestrian friendly routes will be created or enhanced as development comes forward on key sites to enable this movement. New safe cycle routes will be created within the neighbourhood that connect Old Market Quarter to the wider City network. These will include 'Dutch' style cycle lanes on the primary routes. Parks and open spaces will be better linked by a series of safe pedestrian routes.

The Plan safeguards potential future pedestrian and cycle routes that may not be secured by development in this plan's timeframe.



*Bus islands and street clutter In Old Market Street*

### 6.2 To improve the attractiveness of the area through beautiful old and new buildings

The plan will make the most of Old Market's unique local heritage by promoting the identification, protection and reuse of important local assets alongside listed buildings. By working alongside the Council to identify important local building assets, new buildings can respond to the character of Old Market Quarter. Shop fronts along the high street will respect the history and character of the area whilst ensuring economic viability.

New development is encouraged on a number of local sites to meet the aspirations for high quality development enabling the creation of beautiful buildings and spaces to be cherished by future generations.

The plan sets out design principles for the development of key sites which should be considered as part of the planning process to ensure that new buildings make a valuable contribution to the character of the neighbourhood.



*Gardiner's Grade II listed buildings each side of pedestrianised Straight Street*

### **6.3 To encourage more employment, better shops, housing and local facilities**

These will contribute to a balanced and independent community. The plan will encourage flexibility of uses within the designated high street and ensure the retention of active uses at ground floor level. The plan will safeguard employment in the area and create opportunities for new businesses.

New developments will provide a range of housing types for different household sizes and budgets including families, first time buyers, older people and young professionals seeking good quality housing in a city centre location. The plan will seek to protect existing community facilities such as Trinity Arts, Hannah More Primary School, Andalusia Academy and St Nicholas of Tolentine and encourage new facilities to service the needs of a diverse community.

### **6.4 To protect and enhance open spaces**

This will apply across the area and green links created between them through tree planting. In particular, improvements to St Matthias Park, Newtown Park, Broad Plain and the eastern entrance to Castle Park will provide safer, more useable spaces.

New development will enhance adjacent streets and open spaces by improving natural surveillance, lighting and pedestrian access. Development will provide new public open spaces where possible, adjacent to existing streets or to new pedestrian routes. At the heart of Old Market will be a new open space along the north side of the street that can be used for markets and other events.

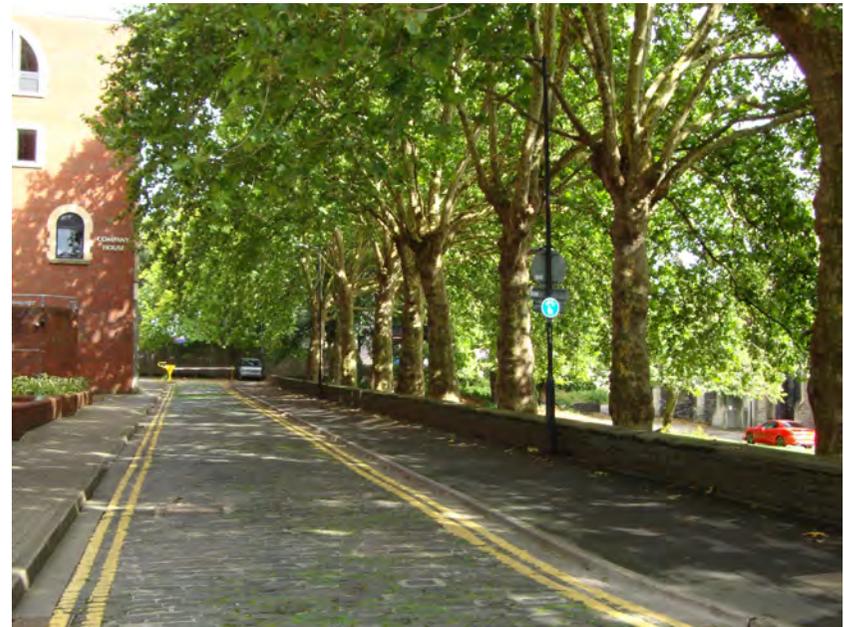
### **6.5 To improve the health and wellbeing of the population**

The plan will build on the outcomes of the Health Impact Assessment carried out in 2013 and be a catalyst for implementing the Bristol Health and Wellbeing Strategy in the neighbourhood. The plan recognizes the desired health outcomes for the population of Old Market and the desire to provide a healthy place to grow up and grow old.

Alterations to the present traffic system will improve air quality safety and noise levels and reduce community severance caused by the current character of the road layout. Configuration of public spaces so that they can be used for street parties and markets will satisfy a community need. Development of a supermarket in the centre of the neighbourhood will provide an easily accessible source of fresh food. New uses will be found for 'dead' green space – allotments, play, community ownership. Improved Community engagement will give the area a voice and provide a means for connecting everything together through community events and forums. The plan should change perceptions and attitudes from 'don't do' to 'welcome'.



*Newtown Park*



*Jacob Street west of Temple Way*

## 7. Policy and principles

Policies have been drawn up which seek to achieve the aims of the plan. They will be used by Bristol City Council to guide planning decisions and development proposals in the Neighbourhood Plan area.

The policies covered by this plan address social, environmental, economic and built environment issues in line with the principles of sustainable development. The policies are set out under the five strategic aims identified in section 6:

1. Getting around better
2. Attractive old and new buildings
3. Viable and vibrant shops, housing and local facilities
4. Protect and enhance streets and open spaces
5. Improve the health and wellbeing of the population

### 7.1 Getting around better

The Neighbourhood Plan aims to rebalance the movement of all modes of transport and focus on people, street activities and businesses instead of traffic. Old Market Quarter has always provided a citywide transport function and the plan seeks to maintain this by making it an important transport hub for people accessing the city centre and the Enterprise Zone/ Temple Meads from the eastern side of the city.

However, the plan also recognises the residential nature of the area and the need to provide better pedestrian and cycle links so that people can continue their journey by sustainable means, and also for local people to access the high street.

#### 7.1.1 Back streets and footpaths

Old Market Quarter is on the edge of the city centre with great access to shops, jobs and public transport. It is therefore a sustainable location for new development and, whilst recognising its importance as part of a citywide vehicular network, new development in the area should take advantage of its location and encourage sustainable modes of transport.

The community vision is for a better connected Old Market Quarter and central to this is the ability of people to feel that they can use the spaces around their homes and businesses. Old Market has limited public open space and it is therefore important that streets are not just for cars, but spaces for people to meet and socialise, where they feel safe to walk and rest. This policy is supported by Bristol Core Strategy policies BCS 2 and BCS 10.

**Policy T1:** Development proposals should be designed to reduce the environmental impact of vehicular traffic and encourage movement on foot and by bicycle.

#### 7.1.2 Short term business parking

Throughout the community consultation process, businesses have raised the need for short-term, well located parking to take advantage of passing trade and this will form a key component of the redevelopment of Old Market Street and West Street. The Residents Parking Scheme includes the whole neighbourhood plan area with the exception of St Philips Industrial Estate to the east of Midland Road. Lack of RPS in the Industrial Estate will lead to pressure from commuter parking displaced from elsewhere but the free all day parking will be used by the businesses and taking this away could affect their viability.

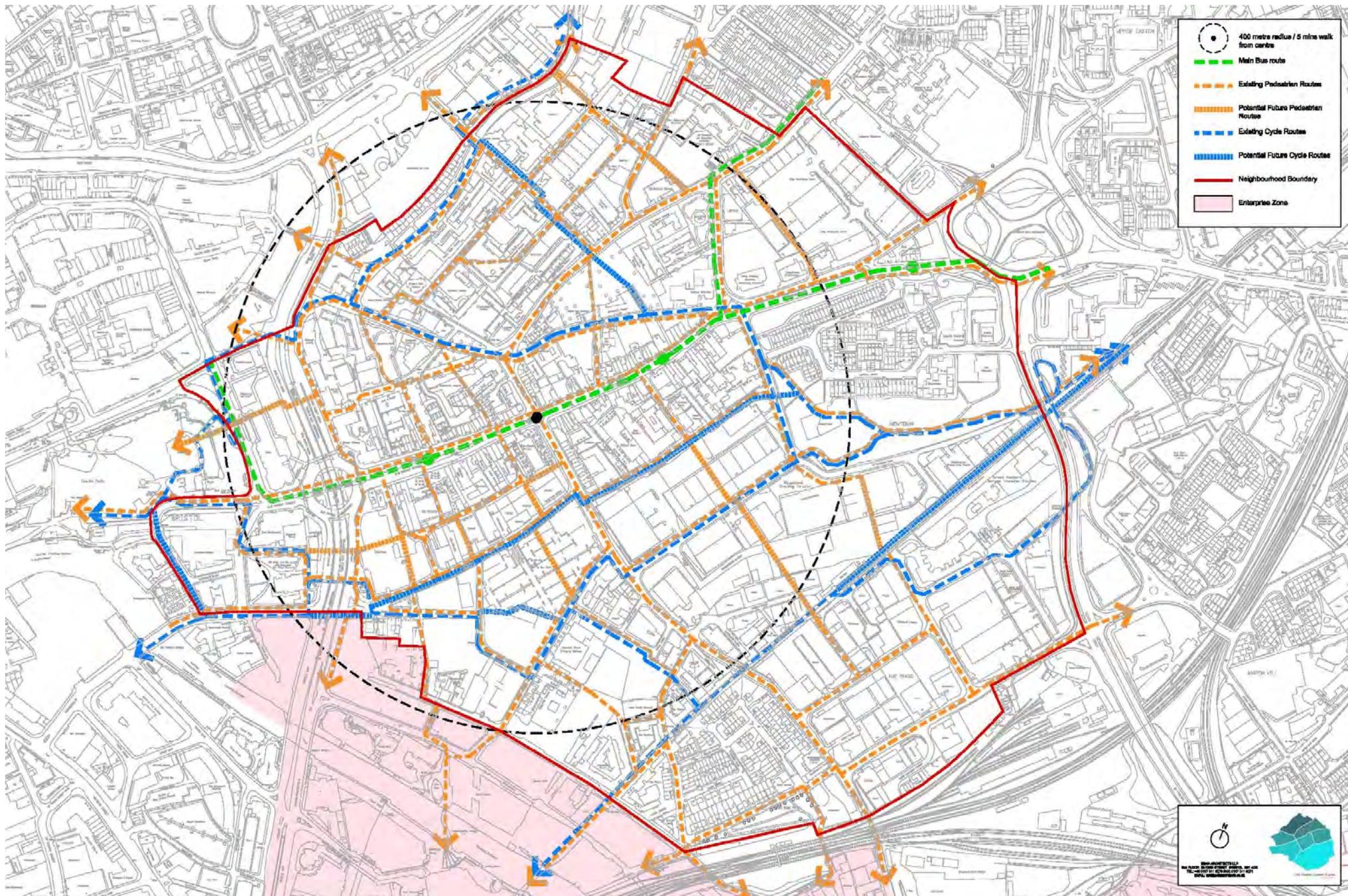
The community will work with Bristol City Council to review parking across the Neighbourhood Plan area as part of the Residents Parking Scheme and will seek more on-street car spaces, an increase in the free short term parking time, from 30 minutes up to 2 hours, and the provision of more and better located cycle parking. This is in line with policy BCAP 29 in the Bristol Central Area Plan.

**Policy T2:** Development proposals for businesses are expected not to reduce existing on-street parking and to provide cycle parking stands in accordance with BCC standards as a minimum.

#### 7.1.3 Residential parking

Imposition of the Residents Parking Scheme in the Old Market area has reduced the amount of on-street car parking spaces. Where there is sufficient space and adequate access, there should be some provision of on-site car parking, either in courtyards or under buildings. Care needs to be taken to avoid car parking spaces becoming too visually dominant or being provided to the detriment of amenity space. In locations close to the high street, the provision of on-site parking is unlikely to be possible so 'car-free' development would be acceptable. In areas further from the high street provision of on-site parking spaces is considered essential. In all areas there needs to be adequate provision for cycle parking.

**Policy T3:** Residential development proposals on sites more than 100 metres from Old Market Street or West Street will be expected to provide on-site car parking spaces at a minimum ratio of 1 car space for every 2 dwellings. All residential development proposals will be expected to provide cycle parking in accordance with BCC standards as a minimum.



Map 2: Existing and Proposed Pedestrian, Cycle and Bus Routes

## 7.2 Attractive old and new buildings

The Neighbourhood Plan will improve the attractiveness of Old Market Quarter and make the most of local heritage. Old Market Quarter's character is defined by its wonderful heritage and in developing the plan, the community has highlighted the importance of these buildings for the future of the area.

The community will also seek to encourage new development where it can support the aims of the plan and a number of opportunity sites have been identified for new development.

### 7.2.1 Protection of historic buildings

Old Market Quarter has 4 Grade II\* and 58 Grade II listed buildings, and has a Conservation Area that includes all of Old Market Street and West Street. However, they are only part of the story and there are a number of locally important buildings that have little statutory protection (shown as 'unlisted buildings of merit' and 'character buildings' on Map 3: Assessment of Building Quality). Buildings particularly at risk are the grade II listed Palace Hotel, and the unlisted buildings in Unity Street. Sympathetic restoration of these buildings is seen as a priority.



*The Palace Hotel c. 1905*

Building categories shown on the map are defined as follows:

**Grade II\* listed buildings** – particularly important buildings of more than special architectural or historic interest (about 4% of listed buildings). Listed building consent must be obtained for demolition, alteration or extension which would affect its character. Any application for listed building consent for work to a Grade II\* listed building will be referred to English Heritage.

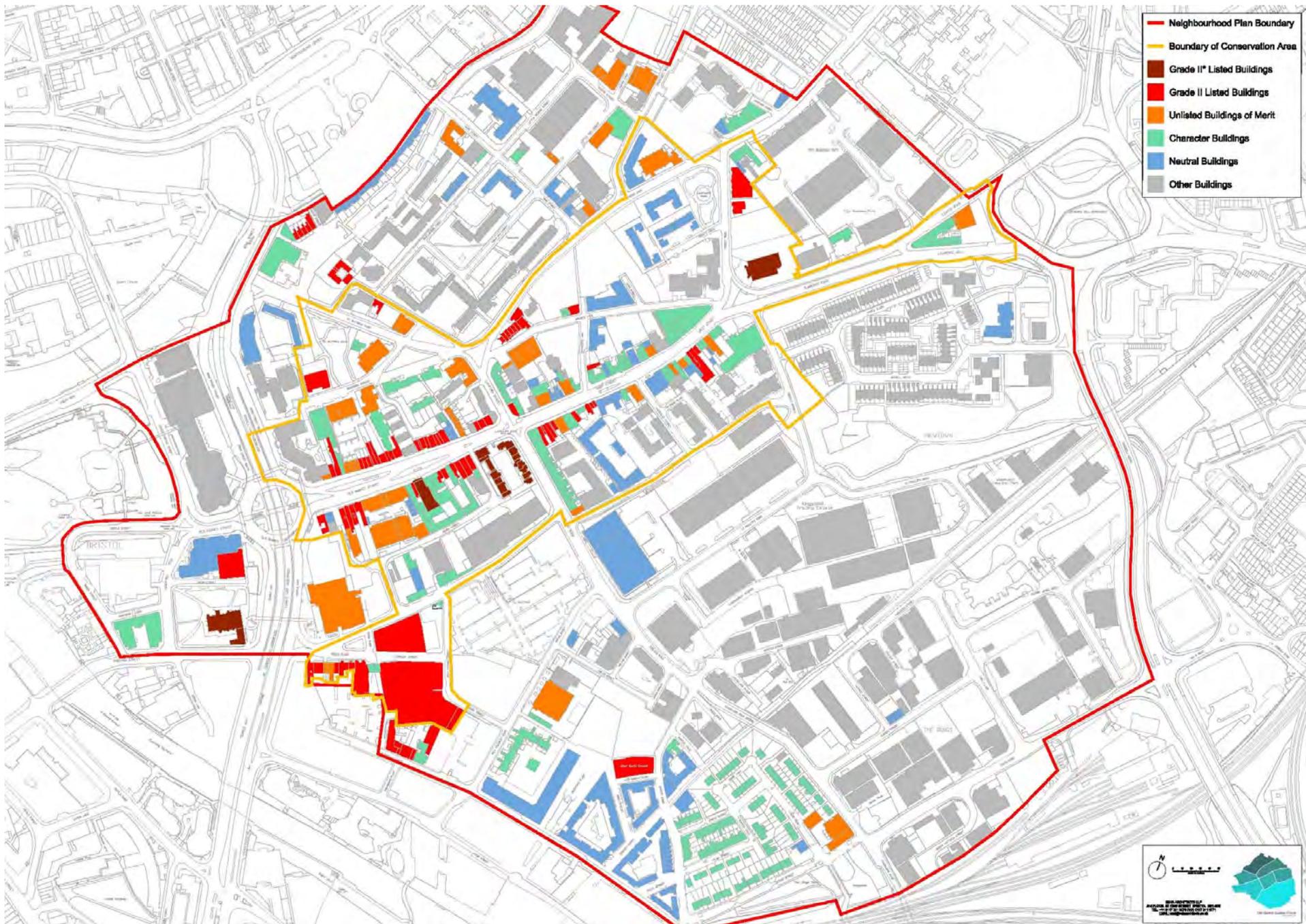
**Grade II listed buildings** – buildings that are of special architectural or historic interest, which warrant every effort being made to preserve them (94% of listed buildings). Listed building consent must be obtained for demolition, alteration or extension which would affect its character. Restoration of original features will be encouraged.

**Unlisted Buildings of Merit** – buildings that make a special contribution to the character or appearance of the neighbourhood plan area. These are usually of particular architectural or historic interest. The identification of a building of merit within the neighbourhood plan area will be of material consideration and their demolition or significant alteration will likely be resisted. Restoration of original features will be encouraged.

**Character Buildings** – buildings that make a positive contribution to the overall character and sense of place of the neighbourhood plan area. Their value is in their overall consistency of scale, form, materials or date which helps to form the built backcloth for the area. It is the specific characteristics that contribute to this overall sense of place that will be encouraged to retain or emulate in future planning applications.

**Neutral Buildings** – buildings that make neither a positive nor a negative contribution.

**Other Buildings** – buildings that due to their location, scale, materials form or detailed design, are a negative intrusion on the area and which offer the potential for beneficial change that would enhance the character of the neighbourhood plan area.



Map 3: Assessment of Building Quality

The community will work with Bristol City Council to agree a Local List of Important Historic Buildings and Community Assets that should be considered when development proposals are made. In the absence of such a list, the community have compiled a schedule of listed buildings, unlisted and grouped buildings of merit and character buildings (appendix 5), which are also shown on Map 3: Assessment of Building Quality. This policy complies with policy BCS 22 in the Bristol Core Strategy.

**Policy B1:** Development that would affect the setting of heritage assets and features, identified as listed, unlisted buildings of merit, and character buildings on Map 3: Assessment of Building Quality should pay special regard to their historic and visual interest. Demolition of these buildings will not normally be permitted. Development of these heritage assets will be expected to sustain these features and their visual impact. In Old Market Quarter this means:

- Respect historic materials and fenestration design.
- Respect the historic building mass and character; the addition of unsympathetic structures will not be permitted.
- Maintain or introduce active ground floor uses where conversions involve ground floors facing onto a street.
- Respect historic plot boundaries.

### 7.2.2 Beautiful new buildings

The Neighbourhood Plan supplements Bristol City Council's Core Strategy policies BCS 2 and 21, Bristol Central Area Plan policy BCAP 46 and Site Allocations and Development Management policy DM 26. In Old Market Quarter this will mean significant opportunities for new development that will be expected to respect the character and history of the area. However, the community wish to see variety, innovation and sustainable design solutions put forward for sites and the creation of beautiful buildings that can be appreciated for generations to come.

**Policy B2:** The design of new development must take account of the history and setting of the Old Market Quarter. New buildings should be designed to be sympathetic to the height and design of neighbouring buildings, street width and frontage lines. Development proposals should also have regard to the Old Market Quarter Design Code set out in Appendix 3.

### 7.2.3 Shop front design

Old Market Street and West Street are the historic high street and the fortunes of the area are reflected in the quality of shop and commercial frontages. Those of historic value are largely Victorian although there are also Georgian and modern frontages. Improvements throughout the high street should have a significant positive impact on the area and the focus would be on simple, easy to maintain facades, signage and services. Policy B3 and the Old Market Quarter Shop Front Design Guidelines (see Appendix 4) amplify guidance given in BCC Policy Advice Note PAN 8 Shop Front Guidelines.

External metal roller shutters are considered to be harmful to the Conservation Area and should not be attached to shops. Occupiers of shops are encouraged to use alternatives to external metal roller shutters; internal roller shutters or lattice gates still provide security without spoiling the outside of the shop.

**Policy B3:** The design of shop frontages (especially those within historic or architecturally significant buildings) should complement the architectural design of the building. On Old Market Street, West Street, the north sides of Midland Road and Lawford Street and also the north side of Stapleton Road this means:

- Shop fronts with historic character should be restored rather than replaced where they still exist.
- Reinstating appropriate historic style shop fronts.
- Not using plastic fascia signs.
- No external security shutters.
- Following Old Market's detailed shop front design guidance set out in Appendix 4.

### 7.2.4 Building conversion

The Neighbourhood Plan supports the flexible use of buildings within Old Market Quarter and especially along the high street. However, conversion should not jeopardise the principal function of the high street by leaving unusable retail units (see policy C2), or cause damage to historic buildings or the conservation area through inappropriate additions. The conversion of existing buildings should safeguard or enhance heritage assets.

Any application for conversions of existing buildings should include accurate plans and elevations that show all existing external and internal features and any proposed changes to them.

**Policy B4:** The change of use and conversion of existing buildings will be permitted where the proposal would comply with other policies in the development plan and where the development would not involve adding unsympathetic structures or extensions.

### 7.2.5 Redevelopment of sites within the Principal Industrial and Warehousing Areas (PIWAs)

The Neighbourhood Plan supports the principal function of the PIWA's (see Map 5: Policies) and recognises their positive impact on the area through provision of local employment. However, the community also recognises the negative impact that warehousing can have on the vibrancy and attractiveness of the area. The plan therefore supports and augments the approach set out by Bristol City Council in policy DM13 of the Site Allocation's and Development Management Policies document for a more flexible approach to the PIWAs.

In Old Market Quarter, this means creating the opportunity for changes on the edges of PIWAs, particularly on Midland Road/Kingsland Road and possibly on Clarence Road, Stapleton Road, Little Ann Street and Little George Street where re-development may be appropriate if it can deliver certain benefits. The plan therefore supports the approach set out by Bristol City Council in the Central Area Plan for development along Midland Road.

**Policy B5:** Within the Principal Industrial and Warehousing Areas defined on Map 5: Policies, proposals for development involving the provision of residential or other non-industrial uses will only be permitted where the site is located on the perimeter of the area so designated, where the use remains predominantly commercial, and where it can be shown that a satisfactory standard of amenity would be provided for any residential occupiers.

## 7.3 Better employment, shops, housing and local facilities

The Neighbourhood Plan seeks to support its local high street by encouraging a range of local businesses to open in the area. The plan identifies opportunity sites and seeks to utilise potential development to ensure a balanced commercial and residential community that can support local shops and services such as schools and healthcare facilities.

The community will work to better link these community services together whilst the plan encourages the creation of new services and facilities to serve the diverse local community.

### 7.3.1 Employment

Old Market Quarter is well placed as a location for smaller businesses particularly those that might provide services to larger organisations in the City Centre or the Enterprise Zone. There is a need for flexible workspaces that can accommodate a wide range of employment use. Integration of workspaces and other uses is encouraged.

Small scale workshops unlikely to cause disturbance to neighbouring residential properties are also encouraged, particularly in mews, lanes and courtyards.

**Policy C1:** Mixed use development that includes flexible space suitable for accommodating a variety of business uses will be encouraged. This includes small scale office spaces and workshops integrated into residential development.

### 7.3.2 Retail units

Old Market has suffered from the conversion of former commercial premises into residential or other non-commercial uses leaving no retail space, or retail spaces that are too small to be viable for potential tenants. There has also been an increase in the number of adult entertainment venues. These factors erode the commercial function of the high street and the community wish to see enforcement action taken where this has been done contrary to planning policy or approved planning decisions. Policy C2 augments the approach set out by Bristol City Council in policy DM8 of the Site Allocation's and Development Management Policies document for secondary shopping frontages.

**Policy C2:** Development will not be permitted which would harm the retailing function of existing shops. The change of use of premises having a frontage within the designated "retail frontage" as shown on Map 5 to use for adult entertainment purposes will not be permitted.

There is a strong demand from the community for provision of a supermarket at the heart of Old Market Quarter, preferably independent, that can provide a full range of fresh foods and produce. The nearest shops with significant fresh food on offer are Malik's on Stapleton Road and Sainsbury's in Broadmead, 400 m and 550 m respectively from the centre of the neighbourhood plan area. Thus only the northern edge is within 400 m or ten minutes walk of a fresh food source.

**Policy C3:** Development will be encouraged that includes space for a supermarket with a minimum area of 370 m<sup>2</sup>/4,000 ft<sup>2</sup> provided that the proposal can be shown to be likely to enhance the retailing vitality and viability of the part of the plan area centred on Old Market Street and West Street.

### 7.3.3 Creation of community facilities

The Neighbourhood Plan recognises the need to increase the range of services on offer to encourage use of the high street and contribute to the long-term sustainability of the area as an attractive place to live and work.

Within the plan area there are a number of formal and informal facilities including three schools (Hannah More, St Nicholas of Tolentine and the Andalusia Academy), the Lawrence Hill Health Centre and Trinity arts centre as shown on Map 4: Community Facilities and listed in the Old Market Quarter register of community facilities set out in Appendix 6. However there is no dedicated community hall within Old Market Quarter and the library in Trinity Road has recently closed following relocation of the service to a new building at Junction 3. The health centre is on the eastern edge of the area and serves Lawrence Hill, Barton Hill and Easton as well as Old Market.

There is one Local Authority maintained nursery, Rosemary Early Years Centre, in the area. This is full to capacity and an extension to the building is under consideration. Even if this extension does go ahead a considerable shortfall is anticipated for two, three and four-year olds in the area and there is a need for a new nursery, particularly if the site would appeal to providers who can deliver a sustainable, mixed economy approach.

Local Authority primary school provision is served by Hannah More, St Nicholas and Easton CofE. The Council expanded Hannah More from 30 to 60 places per year in 2010 and Easton from 50 to 90 places per year in 2011, as a result there is likely to be a surplus of school places across the area and these recent expansions should provide adequate provision until 2020 at least.

The two secondary schools that serve the area, City Academy and Fairfield High School, are outside the neighbourhood plan area and have recently been rebuilt. They are currently operating significantly below capacity. Projections show that there will be a need to increase provision, but this can occur on these two existing school sites.

There is a perceived need in the community for a GP facility in the eastern part of the neighbourhood plan area, where the population is set to expand rapidly. The Neighbourhood Planning Forum will work with NHS England Bristol Clinical Commissioning Group to establish if any new facility is required.

**Policy C4:** Proposals for development which supports the creation of community facilities will be permitted provided they do not detract from residential amenity. Community services that will be particularly encouraged in Old Market Quarter include:

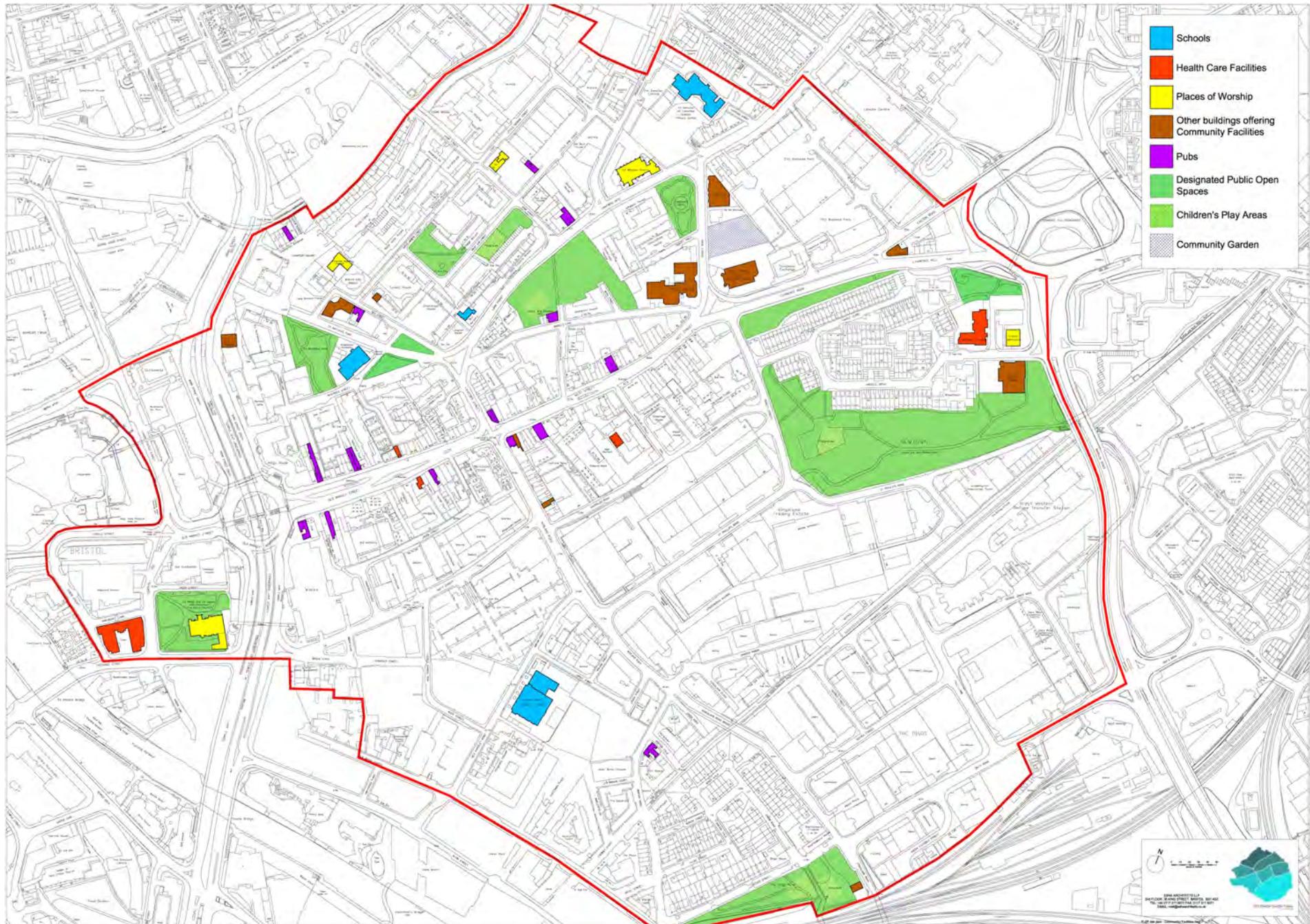
- A new Health Centre at the Western end of the Neighbourhood Plan area.
- Community centre or space, in the centre of the Neighbourhood Plan area.
- New pre-school premises for an expanding population.



*Hannah More Primary School*



*Lawrence Hill Health Centre*



Map 4: Community Facilities

### 7.3.4 Better balanced housing

Development of housing that increases the choice of housing type available to the residential population in the area will be encouraged in line with Bristol Core Strategy policy BCS 18 and Bristol Central Area Plan policy BCAP3. There is an imbalance between the housing need established by the Easton and Lawrence Hill Housing Needs and Requirements Study 2007 and the existing housing stock in the area identified in the 2011 census. The Housing Study shows a requirement for nearly 50% 3-bedroom and larger dwellings whereas the census shows that only 16% of existing dwellings are 3-bedroom or larger.

The number of new dwellings anticipated to be completed over the period of the Neighbourhood Plan, set out in the table below, shows a marked increase in the proportion of larger homes planned for the area. The location of these new developments is covered in sections 7.3.4 and 8.3 and projected numbers are set out in Appendix 5 - Old Market Quarter residential development forecast.

	1 / 2 Bed Flats	3 Bed Flats	Houses	Total
Completions within 4 years	332	34	26	392
Completions within 4 to 8 years	258	11	39	308
Completions within 8 to 12 years	199	0	149	348
Totals	789	45	214	1048

Encouragement will be given to proposals from the Private Rented Sector which offer 3 - 5 year leases on dwellings rather than short term (6 month) tenancies which only favour a transient population.

**Policy C5:** Proposals for new residential development will be only be permitted where a satisfactory standard of amenity and privacy can be provided. Proposals for dwellings suitable for occupation by families and having at least three bedrooms will be encouraged.

### 7.3.5 Site specific policies/principles

Old Market Quarter includes a number of development sites which will contribute to the delivery of the key aims of the Neighbourhood Plan. The community have therefore set out a number of principles of development for these sites. Developers will be expected to demonstrate that they have considered these principles when submitting a planning application.

In all cases pre-application consultation with the community is expected to take place and be recorded on a statement of community consultation as set out in BCC Guidelines for Pre Application Community Involvement (October 2013). Development proposals will need to take into consideration the Old Market Quarter Design Code (see Appendix 3) and, where relevant, the Old Market Shop Front Design Guidelines (see Appendix 4) as required by policies B2 and B3. Policy C6 amplifies the provisions of NPPF paragraphs 66, 71 and 189.

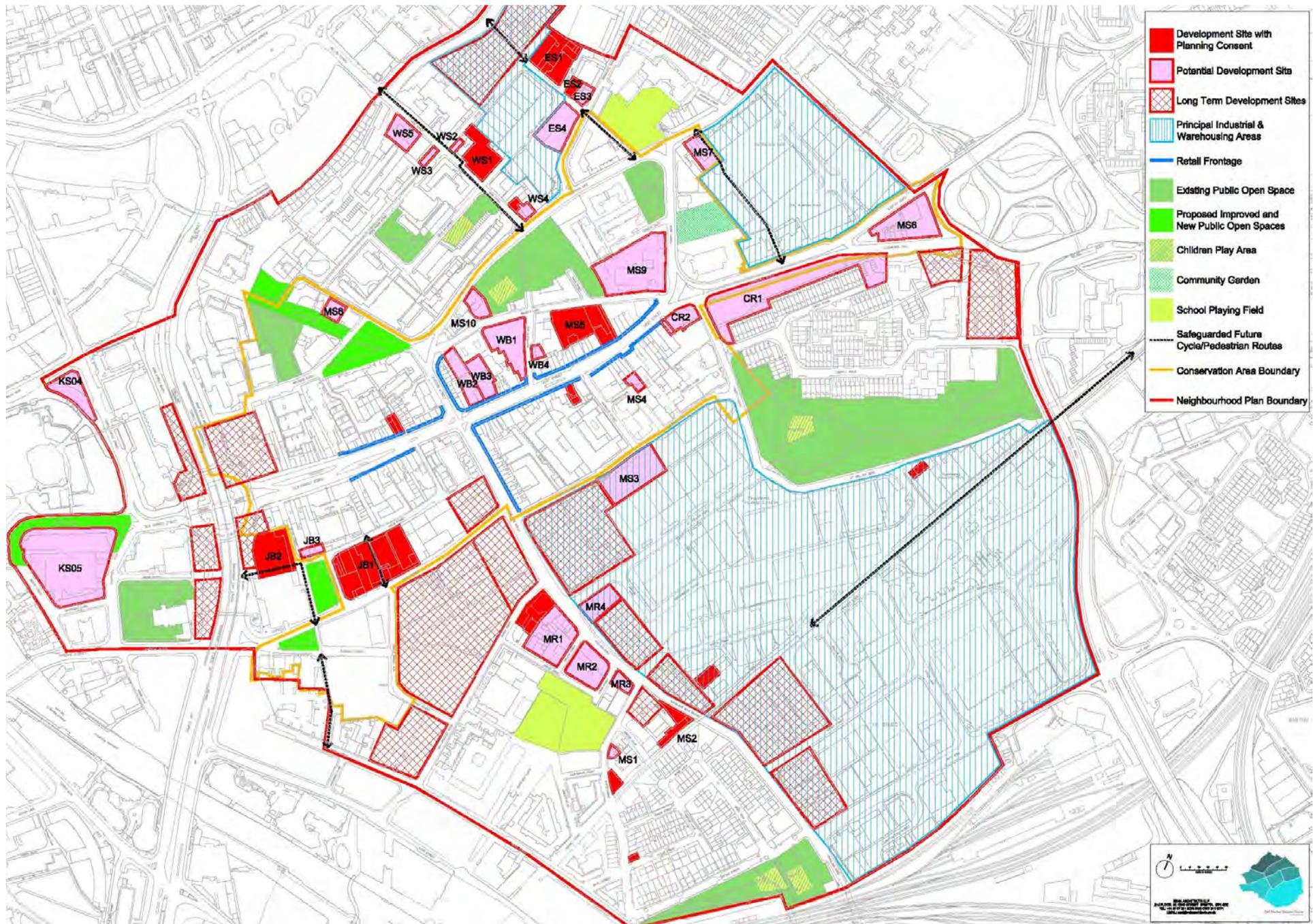
**Policy C6:** Applicants proposing development of any part or all of sites identified in Appendix 1 will be expected to show that the proposal takes account of the guidance set out for the site and to explain the reasons for any departure from this guidance. Development which can be shown to have been subject to consultation with the local community will be encouraged.

Many sites identified on Map 5: Policies are grouped together in key locations and are subject of specific development guidance set out in Appendix 1 as follows:

- Clarence Road (sites CR1 - CR2)
- Midland Road (sites MR1 - MR4)
- Jacob Street and Broad Plain (sites JB1 - JB3)
- West Street and Braggs Lane (sites WB1 - WB4)
- Wade Street (sites WS1 - WS5)
- Eugene Street (sites ES1 - ES4)

Development guidance is also provided for other miscellaneous sites dispersed around the plan area that are identified on Map 5: Policies as follows:

- 41-45 Barton Road (site MS1)
- Alpha House, Union Road (site MS2)
- Waterloo Road (site MS3)
- Land to rear of 60 West Street (site MS4)
- 65 West Street and land off Braggs Lane (site MS5)
- Leisure Island site (site MS6)
- 3 - 7 Stapleton Road (site MS7)
- 8-14 New Street (site MS8)
- Trinity Road Police Station (site MS9)
- St. Judes Vicarage (site MS10)



Map 5: Policies

## 7.4 Protect and enhance open spaces

The Neighbourhood Plan will seek to protect and enhance the natural environment in and around Old Market Quarter. With open space at a premium in the City Centre, access to it and the quality of those spaces has a direct impact on the quality of people's lives. The open spaces in Old Market Quarter help make it an attractive and viable place to live and work. They should therefore be treated as important assets.

Bristol Parks and Green Space Strategy, adopted by the Council in February 2008, sets out a series of policies aimed at improving standards over a 20 year period. The Ashley, Easton and Lawrence Hill Green Spaces Plan, Ideas and Options paper, and subsequent Neighbourhood Partnership Park Investment Plan set out proposals for upgrading Newton Park (Hassell Drive open space) and George Jones Park. The Green Spaces Plan also identifies two areas of open space alongside Clarence Road and adjacent to Lawrence Hill roundabout that do not offer good quality recreational space and that options of disposing of these spaces should be explored if other more appropriate sites can be taken on in replacement.

The quantity standard set for provision of open space throughout the City is 1.8 hectares per 1,000 population. Currently the population in the neighbourhood plan area is 4,600 and amount of open space is 6.82 hectares which includes a quarter of the area of Castle Park that adjoins the eastern edge of the area. This gives a space standard of 1.48 hectares per 1,000 population. At the end of the plan period it is anticipated that there will be a net increase in the amount of open space to 7.54 hectares but the space standard will fall to 0.97 hectares per 1,000 population due to the anticipated increase in population to 7,800.

### 7.4.1 Trees

Trees in both public and private spaces provide an important role, greening Old Market Quarter, providing valuable habitat for wildlife and improving city centre air quality. The community wish to see more trees planted in public spaces, especially along important pedestrian routes, and to see them used to create green links between open spaces. Site Allocations and Development Management policy DM17 supports this.

**Policy E1:** Development which would result in the loss of trees that provide significant amenity and/or wildlife value will not be permitted. Proposals should consider carefully opportunities for new trees within their site and on adjacent streets.

Where trees are inevitably lost due to development, replacement trees should be provided in nearby open space.

### 7.4.2 Wildlife

The only designated wildlife corridor in the Neighbourhood Development Plan Area is Dings Park. There are two other corridors close by: the Bristol Bath Railway Path east of Barrow Road and along the Floating Harbour. Two other important but undesignated corridors are along the River Frome and on the southern edge of Newtown Park, both as shown on Map 6: Open Spaces.

**Policy E2:** Development that would harm the connectivity and function of existing wildlife corridors will not be permitted. Enhancement of existing wildlife corridors and/or the creation of new wildlife corridors will be encouraged.

### 7.4.3 Protect existing open spaces

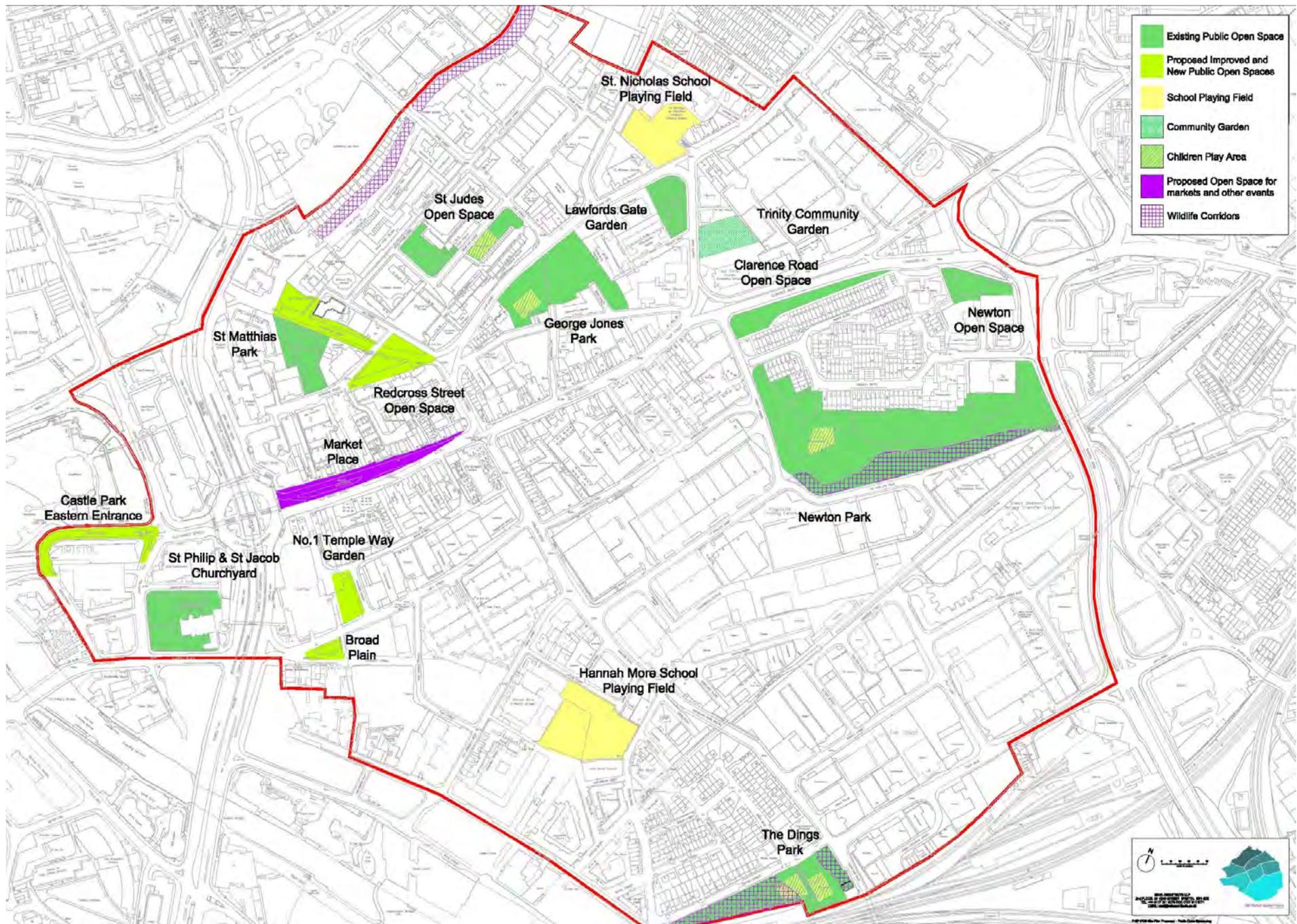
All green spaces including parks, trees and private gardens contribute to the overall quality of life in Old Market Quarter. The community has drawn up a list of the spaces they wish to see protected and locations where new space can be created, as shown on Map 6: Open Spaces. These spaces are recognised for contributing to the overall character of the area which is generally deficient in green space.

The community consider that the former Evening Post Garden behind no.1 Temple way could be designated a 'Local Green Space' as provided for by NPPF paragraphs 76-78.

**Policy E3:** Development on or adjacent to the following open spaces will be expected to protect and improve their setting:

- Old Market Street - the market place
- Castle Park eastern entrance
- St Matthias Park and Redcross Street Open Space
- Newtown Park
- George Jones Park
- Broad Plain
- Evening Post Garden behind no.1 Temple Way
- The Dings Park
- St Philip and St Jacob Church yard
- Lawfords Gate garden
- St Jude's open spaces
- Trinity Community Garden
- River Frome Wildlife Corridor
- Bristol Bath Railway Path Wildlife Corridor

Any development that harms the character, setting, accessibility or amenity value of these spaces will not be permitted.



Map 6: Open Spaces

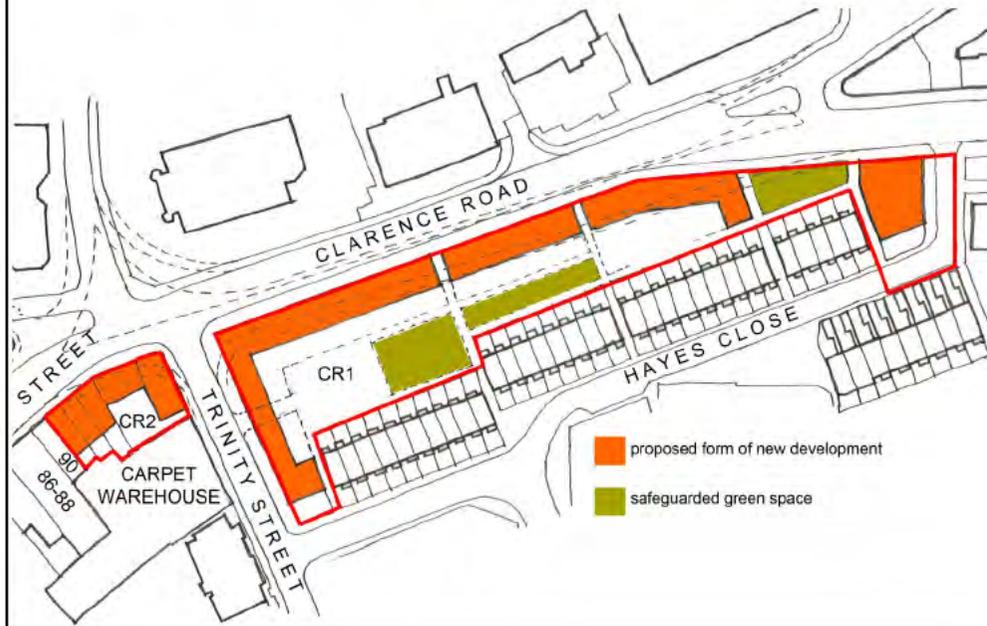


# Appendix 1 – Site Specific Development Guidance

## Development Guidance: Clarence Road



Modern aerial imagery © Blom Pictometry



Development of these sites should contribute where possible to:

- Reduction in width of Clarence Road from a dual carriageway to a single carriageway road;
- Reconfiguration of West Street/Trinity Road/Clarence Road/Trinity Street junction;
- Replacement of any trees lost to development by new trees in nearby open spaces.

Development of these sites should take account of the adjacent Old Market Conservation Area in which the sites lie or area adjacent to.

Site CR1 Development of land to south side of Clarence Road (0.392 ha) should:

- Comprise new buildings, with variations in height and plot width, that reflect the characteristics of the surrounding area, predominantly residential with some outdoor amenity space;
- Provide a continuous built frontage to Clarence Road and Trinity Street having regard to the historic building line that existed before the road was widened;
- Incorporate on-site parking space;
- Potential reinstatement of the vehicle access to Hayes Close from Trinity Street.
- Potentially form new vehicle access from Lawrence Hill to Hayes Close;
- Retain some of the existing trees to the rear of houses in Hayes Close.

Site CR2 Development of the West Street/Trinity Street corner (0.059 ha) should:

- Comprise new buildings of height that reflect the characteristics of the surrounding area and plot widths that have regard to the historic pattern of buildings that previously existed on the site;
- Contain a mix of uses including residential on upper floors and active retail or commercial use at ground floor level on West Street.
- Provide a continuous built frontage to West Street and Trinity Street;
- Possibly include 86-88 West Street, 90 West Street and Trinity Street Carpet Warehouse as part of a comprehensive scheme.

## Development Guidance: Midland Road



Development of these sites should contribute where possible to:

- Enhancement of the footway on the eastern side of Midland Road between Waterloo Road and Barton Manor incorporating new tree planting.

Development of these sites should take into consideration the effect of possible future development each side of Midland Road, on the edge of Gardiner's car park and in place of industrial buildings each side of the St Philips Road junction.

**Site MR1** Development of the urban block bounded by Midland Road, Jubilee Street and Midland Street (0.335ha) should:

- Comprise new buildings of height and scale that reflect the characteristics of the surrounding area, predominantly residential, with some active commercial use at street level on Midland Road;
- Include a distinct building on the site of the former chapel that terminates the view along St Philips Road;
- Consider the reuse and restoration of nos. 32 and 34 Midland Road as houses;
- Include on-site residential parking in accordance with the principles set out in policy T3;
- Include some outdoor amenity space.

**Site MR2** Development of 40-48 Midland Road, the urban block bounded by Midland Road, Midland Street, Jubilee Street and Louisa Street (0.142ha) should:

- Comprise new buildings of height and scale that reflect the characteristics of the surrounding area, predominantly residential, with commercial/workshop area at street level on the Midland Road frontage;
- Provide a continuous frontage on all streets;
- Include on-site residential parking in accordance with the principles set out in policy T3;
- Include some outdoor amenity space.

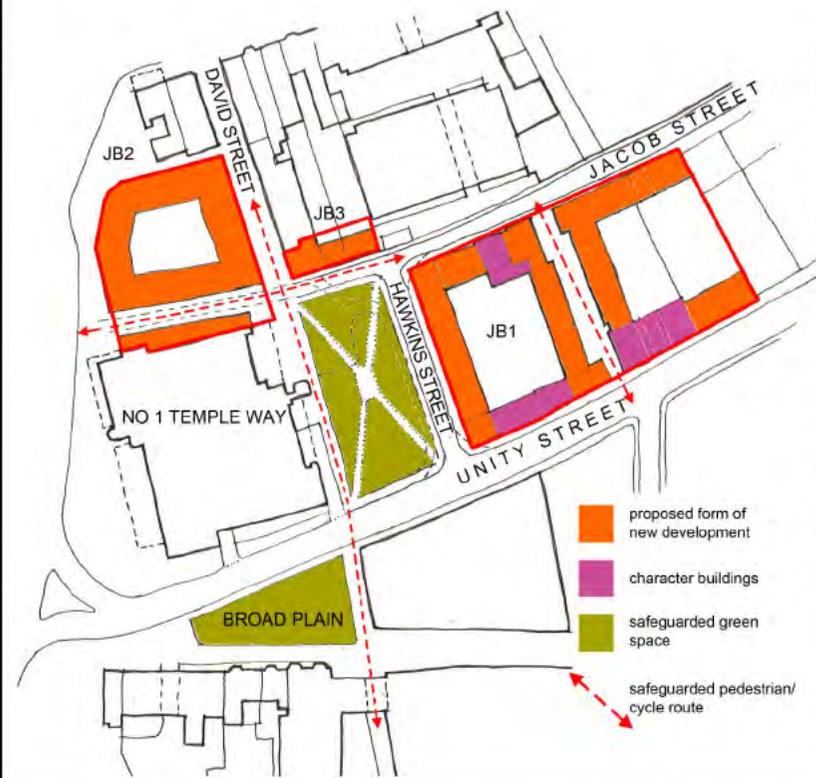
**Site MR3** Development on the corners of Louisa Street and Barton Road (0.082ha) should:

- Respond to its position as a prominent site both in the view down Midland Road and from the other direction from Kingsland Road Bridge;
- Provide a continuous frontage on all three sides;
- Comprise a new building or buildings of a height and scale that reflects the prominence of the site, predominantly residential with commercial use at street level.

**Site MR4** Development of the Midland Road/St Philips Road corner (0.092ha) should:

- Provide a continuous frontage on both streets;
- Comprise a new building or buildings of height and scale that reflects the characteristics of the surrounding area and principles set out in policy B5.

## Development Guidance: Jacob Street and Broad Plain



Development of these sites should contribute where possible to:

- The provision of north-south pedestrian routes between Jacob Street and Unity Street;
- The removal of hard paving and roadways on two sides of Broad Plain and hard paving in the middle, and replacement with grass edged with hard materials appropriate to the setting of the listed buildings that allows access for delivery vehicles as well as bicycles and pedestrians.

Development of these sites should ensure safeguarding of:

- The garden to the rear of No. 1 Temple Way;
- The area proposed for a new public square formed out of the existing garden behind No. 1 Temple Way including extension over part of Hawkins Street.

Development of these sites should take account of the Old Market Conservation Area in which the sites lie or are adjacent to.

Site JB1 Development of the site between Unity Street and Jacob Street should:

- Show that the potential to re-use the buildings on the site has been considered;
- Incorporate a new pedestrian route between Jacob Street and Unity Street or New Thomas Street;
- Comprise new buildings with heights to reflect the characteristics of the surrounding area and a mix of residential and other uses;
- Include on-site residential parking in accordance the principles set out in policy T3.

Site JB2 Development of the former Bristol Evening Post print hall (0.143 ha) should:

- Comprise new buildings of height and scale that have regard to neighbouring buildings and demonstrate that there is little impact on surrounding uses;
- Contain a mix of uses such as residential, student accommodation, hotel or offices with retail or leisure uses (large or small units) at ground floor level;
- Incorporate an active ground floor to the Old Market roundabout frontage;
- Reinstate the former line of Jacob Street as a pedestrian route;
- Include a shallow depth building on the exposed blank facade of No. 1 Temple Way.

Site JB3 Development of buildings to rear of Nos. 67 to 71 Old Market Street should:

- Form the northern edge to the new square;
- Comprise new buildings of height and scale that reflect the characteristics of the surrounding area with access to existing parking areas retained.

## Development Guidance: West Street and Braggs Lane



Modern aerial imagery © Blom Pictometry



Development of these sites should contribute where possible to:

- Public realm improvements to Braggs Lane and Gloucester Lane;
- Public realm improvements to West Street to enable reinstatement of two-way traffic flow.

Development of these sites should take account of the Old Market Conservation Area in which the sites lie.

**Site WB1** Development of land bordering Gloucester Lane and Braggs Lane (0.177 ha) should:

- Comprise new buildings maximum with variations in height and plot widths to reflect the characteristics of the surrounding area, predominantly residential, with active frontages at ground level on Braggs Lane and Gloucester Lane;
- Provide a continuous built frontage to Gloucester Lane and Braggs Lane;
- Follow the historic pattern of buildings that previously existed on Gloucester Lane;
- Potentially include a publicly accessible rear access lane running from Gloucester Lane to an enhanced access way beside the Guild Heritage;
- Include on-site residential parking in accordance with the principles set out in policy T3.

**Site WB2** Development of 5 to 11 West Street and land behind (0.102 ha) should:

- Comprise a new building filling the West Street frontage and a further new subservient building behind of height and scale to reflect the characteristics of the surrounding area;
- Reuse and restore the existing tiled facade (Swift and Company Ltd.) facing Braggs Lane which is identified as an unlisted building of merit;
- Contain a mix of uses included residential on upper floors with active ground floor uses on the street frontages, potentially including a supermarket on West Street.
- Maintain existing rear access path from Braggs Lane alongside the Guild Heritage building.

**Site WB3** Development of 13 to 15 West Street and land behind (0.088 ha) should:

- Reuse and sensitively restore the existing frontage building, which is identified as unlisted building of merit, including replacement of shop front and upper floor windows;
- Replace buildings on rear part of site with new residential buildings, subservient to the existing building, and of height and scale that reflects the characteristics of the surrounding area;
- Retain existing stone wall that forms eastern boundary.

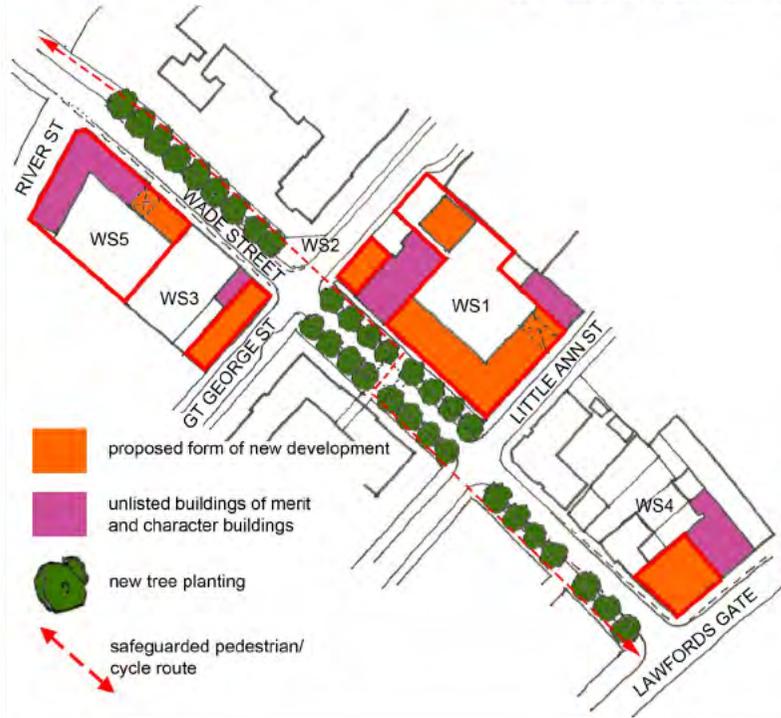
**Site WB4** Development of 44 Gloucester Lane (0.017 ha) should:

- Comprise residential development well related in height and scale to 46 Gloucester Lane (Grade II listed);
- Provide a continuous frontage to Gloucester Lane;
- Follow the historic pattern of buildings that previously existed on the site.

## Development Guidance: Wade Street



Modern aerial imagery © Blom Pictometry



Development of these sites should contribute where possible to:

- Realignment of kerbs and widening of footpaths on Wade Street;
- Tree planting on both sides of the street;
- Provision of enhanced and new pedestrian and cycle route along Wade Street;
- Provision of a signalised pedestrian crossing near the Mosque.

Site **WS1** Development of land on the corner of Wade St. and Little Ann St. (0.107 ha) should:

- Comprise new buildings with heights to reflect the characteristics of the surrounding area, predominantly residential with potential for retail or commercial use at street level on Wade Street;
- Relate sympathetically to the Mosque (character building) and the Swan with Two Necks pub (unlisted building of merit);
- Provide continuous frontage to both streets;
- Include on-site residential parking in accordance with the principles set out in policy T3.

Site **WS2** Development of land on the corner of Wade St. and Little George St. (0.016 ha) should:

- Comprise a new building of a height that reflects the characteristics of the surrounding area with active frontage on Wade Street, potentially including accommodation for expansion of the Mosque.

Site **WS3** Development of land on the corner of Wade St. and Great George St. (0.017 ha) should:

- Comprise a new building that is of a height and scale that relates to the adjacent unlisted building of merit;
- Provide a continuous frontage on both streets at the back of pavement.

Site **WS4** Development of 18 Lawfords Gate on the corner of Wade Street and Lawfords Gate should:

- Comprise new buildings of height and scale that reflect the characteristics of the surrounding area, with active frontages on both streets;
- Retain an active ground floor use of equivalent or larger size than the existing shop;
- Provide stronger definition and improved sense of enclosure to the corner.

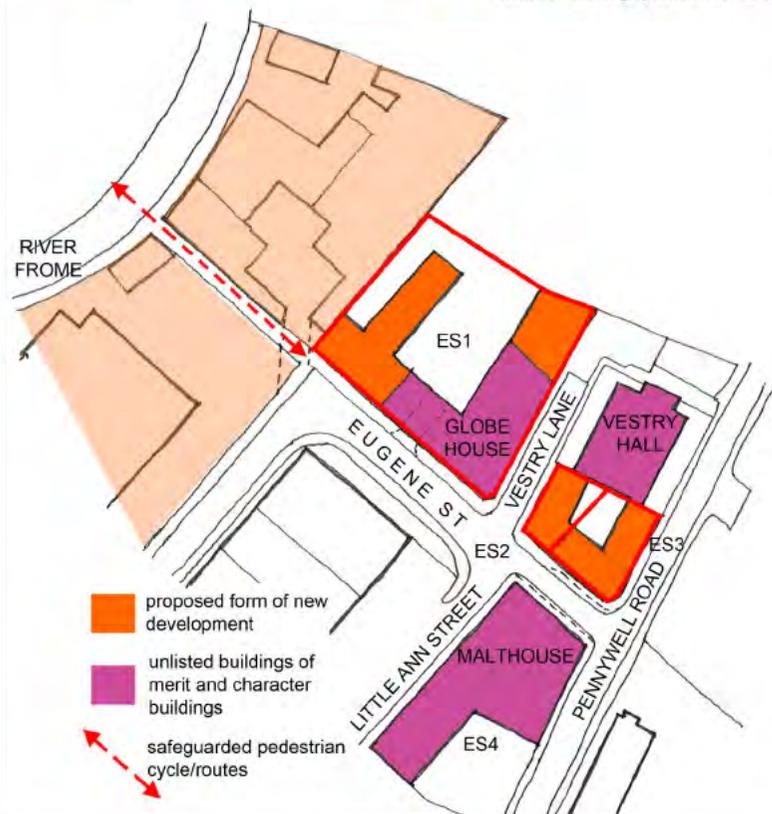
Site **WS5** Development of Redwood House should:

- Retain the existing building which is identified as unlisted building of merit;
- Insert a new building on the Wade Street frontage that is of a height and scale that reflects the characteristics of the surrounding area with active frontage to the street.

## Development Guidance: Eugene Street



Modern aerial imagery © Blom Pictometry



Development of these sites should contribute where possible to:

- Public realm improvements to Eugene Street including enhanced footways.

Development of these sites should ensure safeguarding of:

- The route of a new footpath and bridge over the River Frome;
- Possible future development sites adjacent to the river.

Site ES1 Development of Globe House should:

- Reuse and sensitively restore the existing buildings, which are identified as unlisted buildings of merit, retaining the existing form of building and fenestration pattern.;
- Use the ground floor for employment space with residential on the two floors above;
- Include new residential buildings of height and scale that relate to the existing buildings, potentially incorporating some self-contained live work units;
- Include some outdoor amenity space;
- Include on-site residential parking in accordance with the principles set out in policy T3;
- Take account of possible future development of adjoining land to the north west.

Site ES2 Development of land on the corner of Vestry Lane and Eugene Street should:

- Provide a continuous frontage on both streets;
- Comprise a new residential building of height and scale that reflects the characteristics of the surrounding area;
- Terminate the view along Little Ann Street.

Site ES3 Development 8-14 Pennywell Road should:

- Provide a continuous frontage on both streets;
- Comprise a new building of height and scale that reflects the characteristics of the surrounding area, residential with potential for retail or commercial use at ground floor on the Pennywell Road frontage;

Site ES4 Development of the former Malthouse, Little Ann Street and 4-6 Pennywell Road should:

- Reuse and sensitively restore the existing buildings, which are identified partly as unlisted buildings of merit and partly as character buildings;
- Retain the existing stone elevations;
- Seek to reinstate the roof to its original form and materials;
- Keep the buildings in employment use or convert parts to residential.

## Development Guidance: Miscellaneous Sites

### Site MS1, 41- 45 Barton Road - development should:

- Comprise a new building to replace an existing warehouse, of height and scale that reflects the characteristics of the surrounding area;
- Provide a continuous frontage to Barton Road;
- Consider the potential for active use at ground floor level.

### Site MS2, Alpha House, Union Road - development should:

- Comprise a new building of height and scale that reflects the characteristics of the surrounding area, residential use;
- Ensure that walls on the boundaries with the adjoining properties in Union Road and Barton Vale respect the privacy and amenity of these properties.

### Site MS3, Waterloo Road (0.235 ha) - development should:

- Take account of the adjacent Old Market Conservation Area;
- Retain the existing stone wall to Waterloo Road;
- Comprise new mixed use building(s) of height and scale that reflects the characteristics of the surrounding area and principles set out in policy B5;
- Provide pedestrian access from the end of Waterloo Street.

### Site MS4, Land to Rear of 60 West Street - development should:

- Take account of the Old Market Conservation Area in which the site lies;
- Terminate views from two directions along Waterloo Place;
- Comprise a new building of height and scale that relates to the characteristics of the surrounding area;
- Be residential use with active frontages at street level.

### Site MS5, 65 West Street and Land off Braggs Lane (0.069 ha) - development should:

- Take account of the Old Market Conservation Area in which the site lies;
- Reuse existing former post office building on West Street as retail or leisure use on ground floor and residential on two floors above;
- Retain existing rear access to No. 65 from Braggs Lane;
- Site a new residential building on Braggs Lane of height and scale that reflects the characteristics of the surrounding area, with active frontage to Braggs Lane;
- Include some outdoor amenity space between the two buildings.

### Site MS6, Leisure Island Site - development should:

- Take account of the Old Market Conservation Area in which the site lies;
- Retain and reuse existing unlisted buildings of merit on Easton Road and character buildings on Lawrence Hill (see Appendix 5);
- Include new buildings of height and scale to reflect the characteristics of the surrounding area.
- Include a mixture of commercial, leisure, retail and residential uses with active frontages at street level on both Easton Road and Lawrence Hill;
- Continue an unbroken frontage to Easton Road and Lawrence Hill;

### Site MS7, 3 - 7 Stapleton Road (0.07ha) - development should:

- Take account of the Old Market Conservation Area in which the site lies;
- Be predominately residential use;
- Retain one or more units for retail or leisure use at the front of the site;
- Reuse the historic buildings to the front of the site, which are identified as character buildings (see Appendix 5);
- Be subservient in scale to the adjoining Grade II Listed Trinity Road Library;
- Retain Sion Road, to the east of the site, as a publicly accessible and suitably overlooked route running the length of the site, to allow for any future redevelopment of sites to the south.

### Site MS8, 8 - 14 New Street (0.039 ha) - development should:

- Take account of the Old Market Conservation Area in which the site lies;
- Comprise an adaptable building suitable for commercial, leisure, retail or residential uses;
- Respect the building line set by those buildings on the neighbouring sites;
- Ensure that the height of new building relates to grade II listed Volunteer pub;
- Respect the privacy and amenity of the new building on the Seven Ways Pub site.

**Site MS9, Trinity Road Police Station (0.378ha) - development should:**

- Take account of the Old Market Conservation Area in which the site lies;
- Comprise new buildings to replace the existing police station of height and scale that reflect the characteristics of the surrounding area;
- Be predominately residential use, with active use at ground floor level on the street frontages;
- Provide a continuous frontages to Trinity Road and Braggs Lane;
- Consider the potential to retain 2 no. existing street trees;
- Retain existing stone walls to Trinity Lane, Braggs Lane and George Jones Park.

**Site MS10, St. Judes Vicarage (0.06ha) - development should:**

- Take account of the Old Market Conservation Area in which the site lies;
- Comprise new residential buildings to replace the existing house, of a height that relates to the Grade II listed annex to the church, with frontages onto both Braggs Lane and Lamb Street;
- Consider leaving the east end of the grade II listed church building exposed to view, particularly when seen from George Jones Park;
- Consider incorporating a path linking Braggs Lane and Lamb Street alongside the boundary to George Jones Park with active building frontage that overlooks and properly addresses the park and new railings to the park boundary.

**Site KS05, Central Ambulance Station**

Refer to Bristol Central Area Plan, policy reference BCAP 37

**Site KS06, Land at Lower Castle Street and Broad Weir**

Refer to Bristol Central Area Plan, policy reference BCAP 37



*The Palace Hotel and north side of West Street*



*New housing in the Dings each side of the Railway Path*

## Appendix 2 – Projects

A wide range of ideas were expressed during the consultation process, many of which extended beyond what could be accomplished solely by a Neighbourhood Development Plan. This appendix therefore sets out a number of projects that are not part of the Neighbourhood Development Plan, but are included to reflect the long-term hopes of many local people. The projects set out in this appendix should not be regarded as planning policies or used to determine planning applications.

The projects are dependent on major funding. There is funding in place for three major projects which include improvements to Old Market Street, a study of the cycling routes and improvements to Bond Street Roundabout.

The community will seek funding for and promote all the projects which will make a real difference to Old Market Quarter and deliver the aims of the plan. Significant progress has already been made on potential improvements to Old Market Street, with designs put forward for a more traditional street layout and a new public space on the northern side.

Potential funding for these projects will come from five places:

- The Community Infrastructure Levy: 25% of the planning levy (CIL) charged on new development granted planning permission after the neighbourhood plan is adopted will be devolved to the local Neighbourhood Partnership to spend on infrastructure projects. The projects identified in the neighbourhood plan will be used to assist in the allocation of CIL money devolved to the Neighbourhood Partnership.
- Section 106 contributions: these will also come from new developments in the area.
- Government funding for community facilities.
- Other local initiatives e.g. the Local Sustainable Transport Fund.
- Applications for Grants

The timing of delivery of site developments and infrastructure and community projects is related to the availability of funding but the community have prioritised these into short term, medium term and long term opportunities

### Short term aims - 2014-2018

- Formalise the routes from the Bristol/Bath Cycle Path to the City Centre and Temple Meads with the creation of combined cycleway and footways around Old Market Quarter.

### Medium term aims - 2018-2022

- Improving the entrance to Castle Park by closing Castle Street to vehicular traffic which becomes an extension of the pedestrian and cycle route across the park from Bristol Bridge.
- Reducing the width of Clarence Road with the release of land on the south side for development to urbanise the street and provide additional housing with retention of some of the existing mature street trees.

### Long term aims - 2022-2026

- Removal of Old Market Roundabout and major re-working of the junction to reconnect Old Market to the City Centre with all traffic and pedestrians brought to street level. The removal of escalators, footbridges and subways and the reduction in land-take for roads presents opportunities for further development or creation of open space.
- Reinstatement of the original alignment of Lawrence Hill and Easton Road within the neighbourhood plan area and the release of around 0.8 hectares of potential development land, should the removal of Lawrence Hill roundabout be pursued within the plan period. The long-term aim is to create improved vehicle, cycle and pedestrian routes that reconnect East Bristol with the City Centre.

### Old Market Street and West Street

Central to the vision of Old Market Quarter are improvements to Old Market Street and West Street, which together are considered to be the neighbourhood's high street. These two streets are currently dominated by traffic and new proposals will see the space reclaimed for commercial activity and community uses. This will be achieved by simplification of the road layout, allocating a greater proportion of the space for pedestrians and cyclists, better provision for bus passengers, less signage, good quality street furniture and tree planting. The enhancement of this space will provide a key focal point for the community and will create opportunities for employment in retail and leisure, markets and special events.

## Public realm projects

### Project PR1 - Improvements to Old Market Street

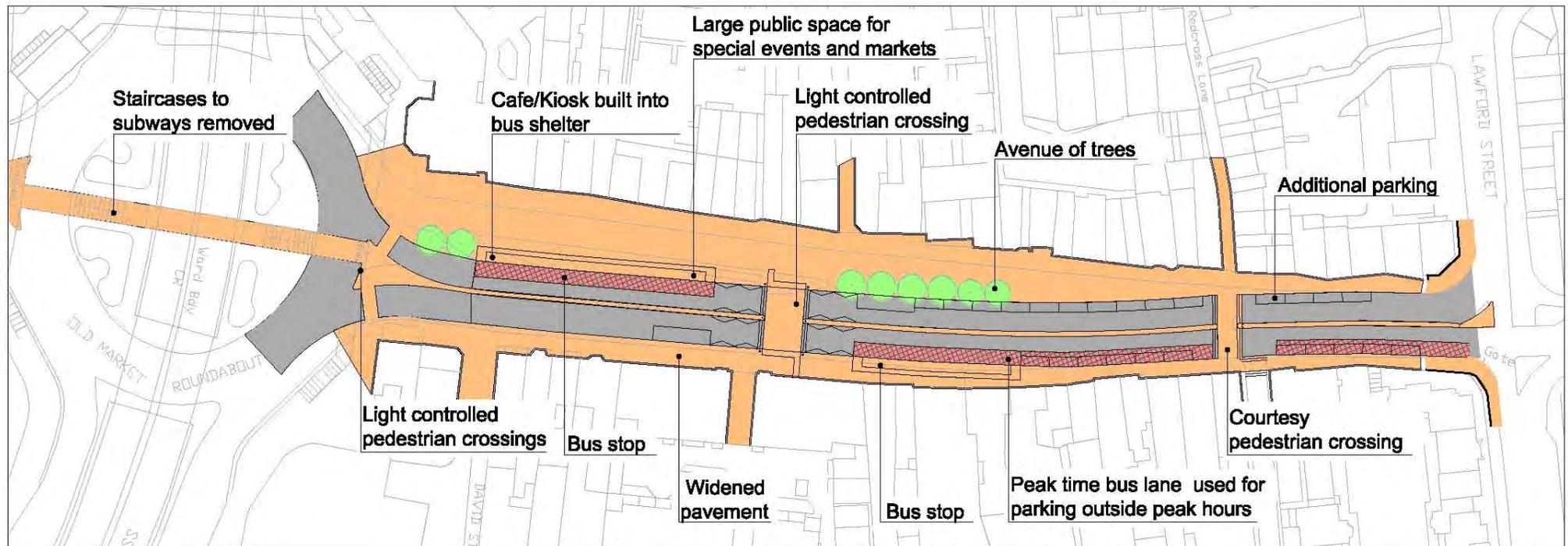
Funding has been secured for improvements to be made to a stretch of Old Market Street. This stretch of the high street is the location for some of Old Market Quarter's best historic buildings and is seen as the gateway to the City from the east. It is also a key location for public transport users with bus stops on both sides of the road. It is the major destination in the neighbourhood for pedestrians and cyclists

In recent years, changes to the street have prioritised vehicular traffic and made the street confusing for pedestrians and cyclists. This priority needs to be reversed in favour of pedestrians and cyclists. The improvement of the space will have a huge impact on the use of the space, north-south connectivity and people's perceptions of the area. Feedback from local consultation on the draft plan showed this to be the highest priority project.

The preferred design includes:

- Relocation of the main carriageway to the south side of the street.
- Creation of a significant high quality public space on the northern side of the street that can be adaptable to use for public events, markets and landscaping.
- This area will be south facing and away from traffic.
- Introduction of a 20mph speed limit.
- Re-introduction of a simple two-way carriageway with bus stops logically moved to the edges.
- Central pedestrian crossing that links the bus stops with key north-south connections to Cabot Circus and the Enterprise Zone creating an important transport hub.
- Informal courtesy crossings for pedestrians to the east and west that connect key north-south routes.
- Provision of a peak hour bus lane on the south side of the street that can be used for parking/ deliveries at other times.
- Additional short stay parking on the north side of the street.

Trees and landscaping, cycle parking, benches and street furniture to be included.



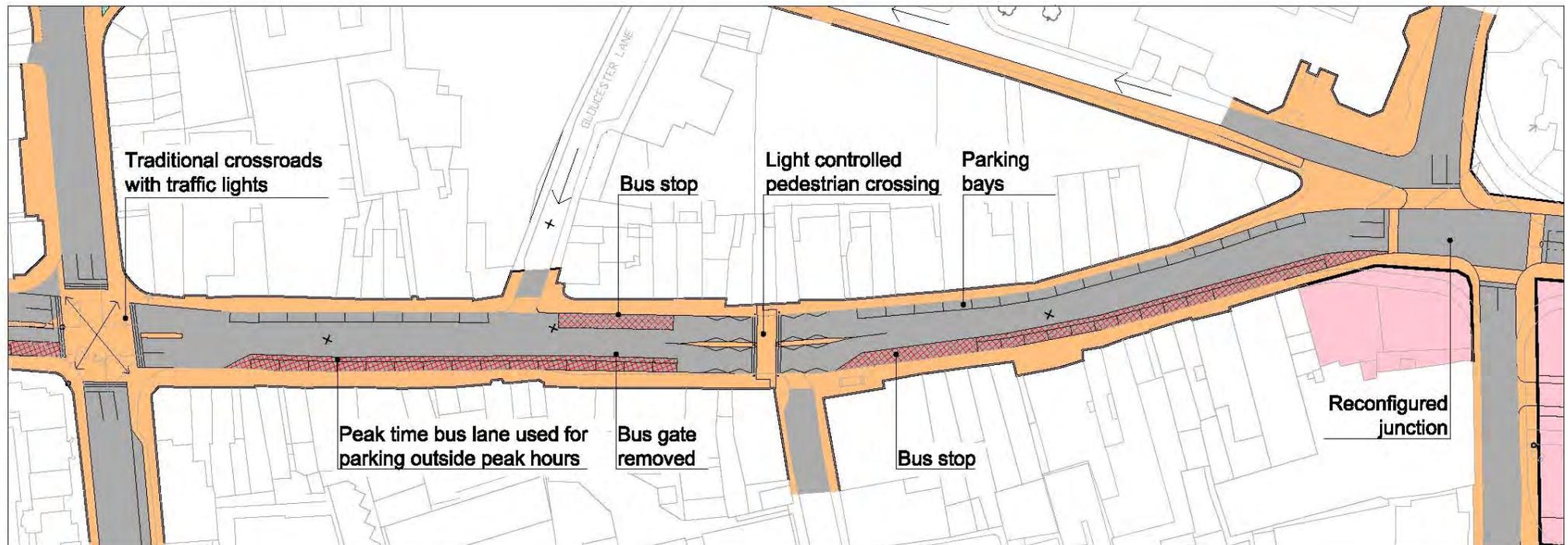
Plan of proposed improvements to Old Market Street

## Project PR2 - Improvements to West Street

Phase two of the proposed major improvements to Old Market Quarter would see the re-introduction of two-way traffic on West Street, Lawford Street, Lamb Street, Lawfords Gate and Trinity Road and removal of the one-way gyratory.

These streets are traffic dominated and there is currently little opportunity to stop for local businesses. As with Old Market Street the priority needs to be reversed in favour of pedestrians and cyclists. Whilst no funding is currently available, this project is seen as the next logical step to revitalise the high street and improve the pedestrian experience. This eastern end of the street is the primary focus for bars and nightclubs in Old Market Quarter and improvements would enhance this offer including:

- Widening of footpaths with kerb build-outs and accessible crossing points at key junctions.
- Peak hour bus lane on the southern side of the street which can be used for deliveries and parking at other times.
- Additional parallel parking bays provided on the north side of the street.
- Bus stops incorporated at the midpoint of West Street.
- Introduction of a 20mph speed limit.
- Improvements to the Trinity Road junction providing improved access to Trinity Arts Centre.
- Removal of the 'bus gate' and rationalisation of the junction with Midland Road to provide left and right turns in both directions and an 'all ways' pedestrian crossing.



Plan of proposed improvements to West Street

### Project PR3 - Open space improvements and tree planting

Public consultation has raised awareness of the need to improve the many green spaces around Old Market Quarter. In some cases there is a need for major change with the introduction of new facilities whilst in other areas changes to maintenance regimes and working with the community may result in the creation of more pleasant spaces.

The community will work with Bristol City Council to agree community visions for St Matthias Park (project PR4) Newtown Park (project PR5) and the eastern gateway to Castle Park (project PR6) as set out below. In other open spaces, an agreed strategy for improvements may include:

- Improved entrances and pathways in George Jones Park.
- Provision of allotment space in George Jones Park and Newtown Park.
- Provision of young persons space/wheels park/skate board ramps at George Jones Park.
- Greening of Broad Plain and crown thinning to lighten the space.
- Improvements to play areas within housing such as at St Jude's.
- Improved aspirations for Lawfords Gate Garden.

Street trees play an important role in improving air quality and providing green links between open spaces. They will be encouraged where appropriate as part of new developments, but there may also be opportunities for new trees in strategic locations around Old Market Quarter. The project may include:

- Selective tree planting on key routes such as Old Market, Wade Street and Midland Road.
- Reviewing opportunities and applying for funding to transform Old Market Quarter's open spaces.

### Project PR4 - St Matthias Park

St Matthias Park is an important City Centre resource at the heart of Old Market Quarter. A comprehensive design will be drawn up by the community to guide improvements as funding becomes available. Individual improvements will be considered where they are sympathetic to the overall scheme for St Matthias Park. Proposals would be expected to create better links to surrounding streets, improve boundary walls, paths and generally improve the appearance and amenity value of the open space. Possible improvements include:

- Replacing hard surfaces with grass.
- Crown thinning to plane trees.
- Roadway closed to vehicles and reduced in width to form a cycle way and footpath. Grassed edges to be extended/ created on each side under the trees.
- Triangles of land under the trees between Andalusia Academy, Seven Ways and Perrett House to be grassed and bollards etc. to be removed.
- Incorporate path to run directly from the end of Redcross Lane to the corner of Andalusia Academy.
- Existing railings between the park and road to be removed.
- Existing railings between the open space next to New Street flats and the road to be removed.
- Improve link to Champion Square.



St Matthias Park

## Project PR5 - Newtown Park

Newtown Park is the main place for recreation for young people and the main open space in the neighbourhood plan area. A comprehensive design will be drawn up by the community to guide improvements as funding becomes available. Individual improvements will be considered where they are sympathetic to the overall scheme for the Newtown Park. Proposals would expect to create large areas of level ground for sporting activities, improve boundary treatments and improve the amenity value of the space.

- Remove mounding and reorganise paths to give maximum flat grassed area.
- Improve boundary at back of properties in Hassell Drive.
- Provide young people's space with adventurous play equipment.
- Widen and upgrade paths to avoid conflict between pedestrians and cyclists.
- Create wildflower areas at perimeter of park.
- Provide space for allotments.
- Enhance all entrances.
- Improve links to Bristol Bath Cycle Path, with better designed paths and visibility.
- Provide a fitness circuit.
- Replace existing fence along Trinity Street.



Newtown Park

## Project PR6 - Eastern Gateway to Castle Park

Castle Park forms the strategic link between Old Market and the City Centre identified as Primary Pedestrian Route 1 in the City Public Realm and Movement Framework. Historically this link was very strong with Castle Street effectively a continuation of Old Market Street up to St. Peters Church. This strong link has been lost due to severance caused by the Bond Street roundabout. The remaining part of Castle Street has no obvious function apart from providing some kerbside parking and giving access to a parks maintenance compound. The area to the south of Castle Street is part of the ambulance station redevelopment site. The proposal is to close Castle Street to vehicles and make it into the main eastern gateway to Castle Park.

- Close Castle Street to vehicles and make it the main eastern entrance to the park for pedestrians and cyclists only.
- Reduce the width of Castle Street.
- Open up and reinstate the mediaeval bridge taking Queen Street over the Castle Ditch to form a new entrance to Castle Park.
- Incorporate 'dutch style' cycleway from Passage Street, along Queen Street, over the mediaeval bridge to the existing cycleway in Castle Park.
- Plant trees along the north side of Castle Street.



Eastern Gateway to Castle Park

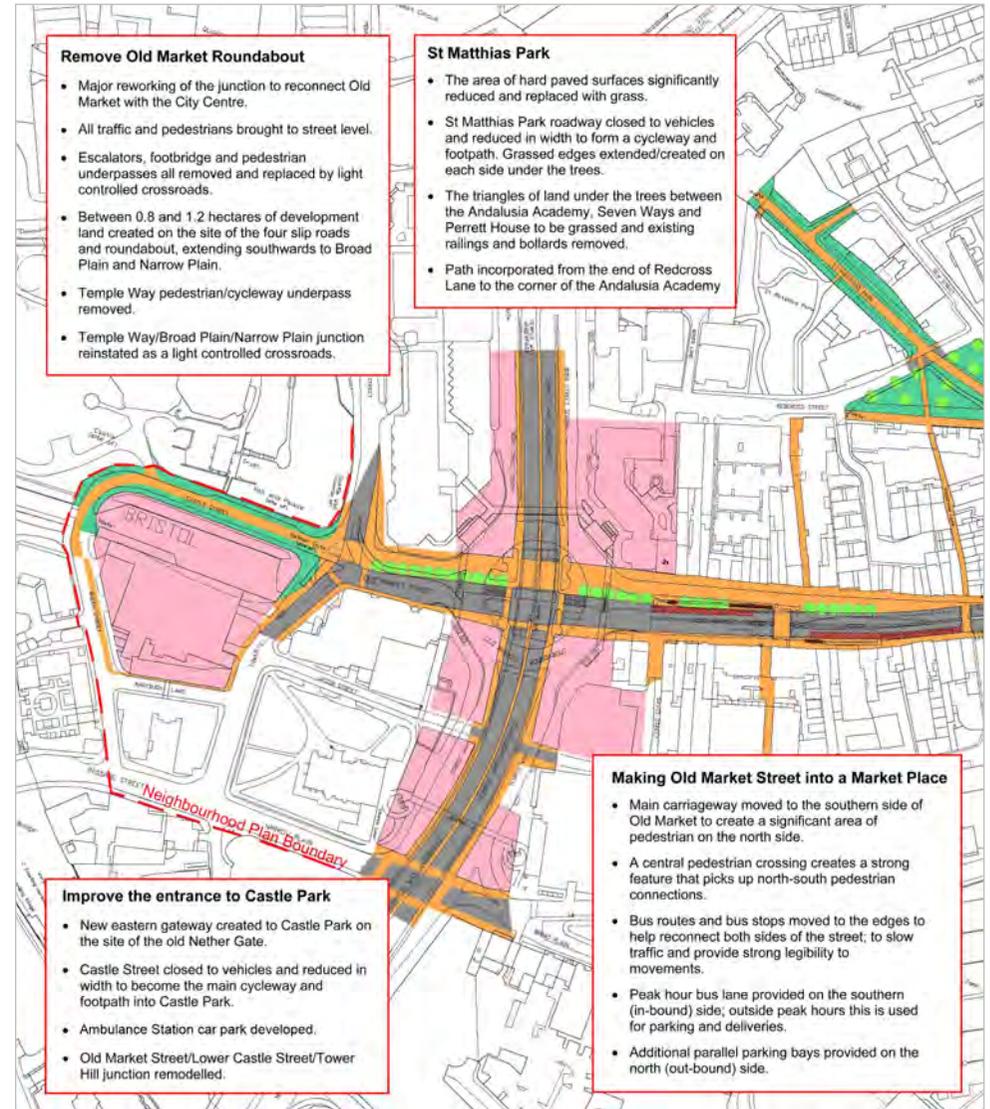
## Transport related projects

### Project TR1 - Study into long term connections

Consultation has highlighted the need to address major transport infrastructure around Old Market Quarter – the opportunity to reconnect the neighbourhood to the wider city and potentially to open up significant enabling development adjacent to Lawrence Hill Roundabout to the east, Clarence Road and around the Temple Way underpass to the west. This infrastructure has isolated Old Market Quarter and left significant amounts of underused open space. There is an opportunity to rationalise traffic flows, increase the residential population and redress the balance between people and cars. Whilst the opportunities are recognised, the complexity of delivery requires serious consideration. In order to move forward an initial corridor study should be produced to look at the feasibility of major re-development. The study must ensure that there is sufficient capacity to cater for increased use of public transport and that there is improved provision for safe movement of pedestrians and cyclists along the length of the corridor.

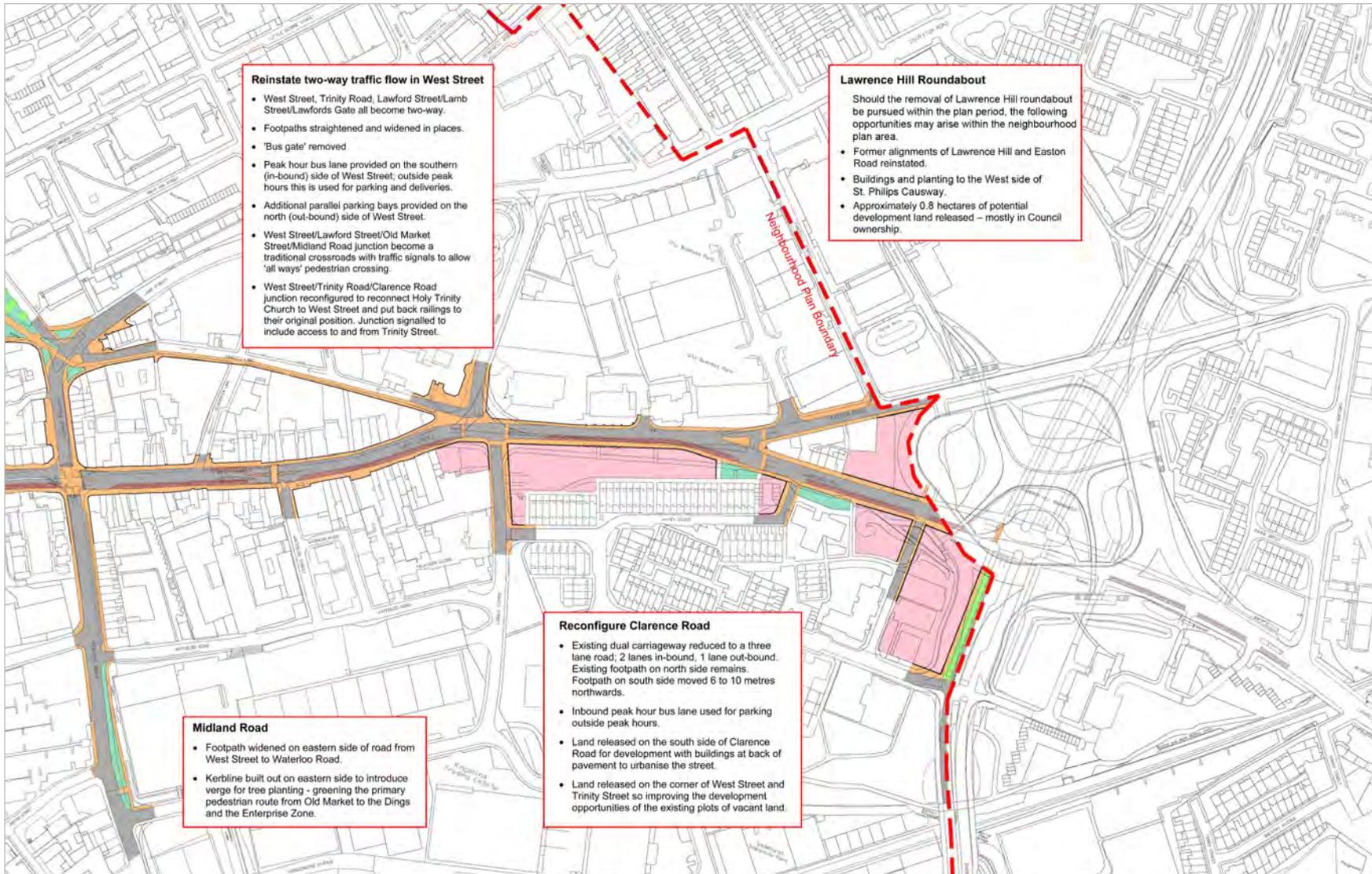
The study should include:

- Constraints
- Design principles
- City-wide benefits
- Local benefits
- Consultation and stakeholder issues
- Funding opportunities
- Development opportunities
- Financing
- Land ownership



Castle Park/Temple Way/Old Market Street

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West Street/Clarence Road/Lawrence Hill Roundabout

### **Project TR2 - Implement parking review/improvements**

Parking is important for Old Market for the viability of its shops and services and for access to the city centre. The competing needs of both city wide and local facilities make it important to get a balanced approach to parking and consultation has highlighted the need to maximise short-stay parking provision in and around Old Market Street and West Street whilst providing residents with protected parking. A review of local parking will need to take place in line with the community aspirations expressed in this plan and improvements to Old Market but a preferred approach to parking provision in the area would include:

- Implementation of the resident parking scheme over the whole plan area.
- Increase short-stay on-street parking time from 30 minutes to 1 or 2 hours.
- Work with the owners of the Gardiner Haskins car park to provide 'free' evening parking and improve the edges of the site.
- Integration of Car Club spaces throughout the Neighbourhood Plan area to promote sustainable choices in transport.

### **Site development projects**

#### **Project SD1 - Old Market Roundabout**

Old Market Roundabout and Temple Way underpass, together with attendant pedestrian underpasses, bridges, steps, ramps and escalators are the biggest impediment to easy east-west movement between Old Market and the City Centre. Bold reworking of the junction to bring all traffic and pedestrians to street level will reduce the road footprint and release 0.8 hectares of land. Development of this land would go a long way towards the considerable engineering works required to achieve this long term goal - one of the major aims of the Plan. Similar radical modification has been achieved with huge positive benefit to a major traffic route in Nottingham (Maid Marion Way).

#### **Project SD2 - Lawrence Hill Roundabout**

Should the removal of the Lawrence Hill roundabout be pursued within the plan period, approximately 0.8 hectares of land would be released within the neighbourhood plan area. Development of this land, mostly for housing but with other complimentary uses at street level, could enable the reinstatement of the original alignments of Easton Road and Lawrence Hill within the neighbourhood plan area and additional buildings and tree planting along the west side of St Philip's Causeway.

### **Project SD3 - Midland Road**

In addition to sites set out in policy C12 there are sites on each side of Midland Road, including some within the designated Principal Industrial and Warehousing Area, which offer development opportunities that would achieve the aim of Policy B5 and the aspiration set out in the Central Area Plan to introduce buildings with active ground floor frontages that address Midland Road to reflect its role as a primary pedestrian route to areas of major change including the Enterprise Zone.

#### **Project SD4 - Gardiner Haskins Car Park**

Gardiner Haskins car park occupies a large area that used to be covered in houses and industrial premises that have been progressively demolished since the 1960s. The car park is essential for Gardiner's retail store and also an important asset for local businesses as a commuter car park. It is also well placed to serve the planned Arena at Temple Meads. However, it could also provide better provision for the evening economy and do more for the character of the area. In future years, the whole or part of the site could also provide a good opportunity for mixed use development and become subject to development pressure. The plan supports the principle of development on this site. Any such development would have to maintain parking for an equivalent number of cars as accommodated in the existing surface car park. The development would need to include public open space and follow the design principles set out in the Old Market Design Guide (Appendix 1).

#### **Project SD5 - Frome Riverside**

BCC Call for Sites exercise in 2009 suggested that two existing industrial sites that border the River Frome could be considered for development for mixed uses. These sites are in active commercial use at present, however they do provide a good opportunity for development in the future, particularly in conjunction with a public footpath and cycleway alongside the River Frome and the connection to Eugene Street as shown in Policy C12. The plan supports the principle of development on this site. These sites are within flood risk zone 2 and any development would be subject to a flood risk sequential test. Development would also need to take account of any natural habitats in and adjacent to the river.

## Community related projects

### Project CR1 - Develop partnership programme

Public consultation has highlighted a number of areas where local people would like to see more communication with the Local Authority and more control over their local services. In particular, the impact of planning and transport decisions on Old Market Quarter is a major issue for the community.

It is also recognised that decisions taken in Old Market effect the wider city as well and this is magnified when dealing with a number of transport issues that have come about through the introduction of city-wide infrastructure projects such as the inner ring-road.

To ensure that the mistakes made in the past are not replicated, it is proposed that the community work together with Bristol City Council to resolve issues and ensure the delivery of this plan by:

- Establishing a mechanism for pre-application consultation with the relevant community group to ensure their views are communicated.
- Developing a local list of community assets.
- Developing a local list of buildings for additional protection.
- Reviewing the extent of underused properties within the PIWA's.
- Reviewing all public realm, transport and parking proposals and ensuring that communities aspirations are communicated.
- Reviewing the need for more school places.

### Project CR2 - Promoting Old Market Quarter

The community will promote a number of projects that will help to put Old Market Quarter on the map, attract visitors and increase awareness of the area.

Projects will include:

- Represent Old Market in city centre events, museums, exhibitions such as M Shed and the Architecture Centre.
- Continue active marketing of the Quarter.
- Establishing a third sector 'local network community' in the area.
- Promoting the provision of a health centre and community centre for Old Market.
- Developing a yearly street party, working in partnership with Bristol City Council and the bus operators to set up diversionary bus routes.
- Developing a regular street market – ultimately in Old Market Street but temporarily in St Matthias Park.



*Project SD1 - Old Market Roundabout and Temple Way underpass*



*Project SD3 - Development opportunities each side of Midland Road*



# Appendix 3 – Old Market Quarter Design Code

## 1.0 The Public Realm

1.1 There should be a clearly defined boundary between the public realm (streets, lanes, squares and open spaces) and private dwellings and other premises. This boundary is generally defined by a continuous building line set by facades of buildings, substantial boundary walls or railings. The building line determines the location of the walls of the private buildings that frame the streets and other public spaces. The architectural quality of these framing walls is critical to the quality of the public realm as a whole.

1.2 The pattern of streets defines a series of urban blocks, each of which contains a mixture of uses. This characteristic needs to be retained and encouraged in any development.

1.3 Incorporation of lanes or courtyards giving access to the rear of properties within blocks is encouraged, and these can become routes through blocks to achieve increased permeability.

## 2.0 Scale

2.1 Wherever possible, plot widths should follow historic boundaries.

2.2 Building heights to eaves or to top of parapets should not be more than twice the distance from the façade of the building to the centre of the street or lane.

2.3 Subject to 2.2 buildings facing onto the streets can be two, two and a half, three, three and a half or four storeys high and have roof slopes parallel with the street, but some gables facing streets may be included. Variety of building heights along the streets is encouraged.

2.4 Attic floors within a pitched roof or set behind a parapet should have all elements below a line drawn at 45° from the eaves or parapet (apart from dormer windows and chimneys).

## 3.0 Urban and Architectural Character

3.1 The character of any new development within the Old Market Conservation Area needs to reflect the local vernacular as set out in the 'Old Market Conservation Area Character Appraisal'.

3.2 Elements within the building elevations should have a vertical emphasis.

3.3 As well as different building types and forms within the urban blocks there should also be different architectural characteristics between and within blocks in response to the location on the site.

3.4 The architectural character is defined by its details in particular walling materials, walling details, windows, external doors and porches, roofing materials, roof details, chimneys, rainwater goods, external lights, alarms and meter boxes. Developers should utilise materials that respect the character of the area including brick, render and stone elements. Careful attention needs to be given to the correct historic application of these materials.

3.5 Variety in the design of the building facades facing onto the public realm is strongly encouraged.

3.6 New 'statement buildings' will be considered on their merits.

## 4.0 Materials and Details

4.1 Apart from industrial buildings, external walls should be faced in stone, brick or render; timber, plastic and metal sheathing are not appropriate. Stone should be bathstone ashlar or pennant split face rubble or similar to match examples that exist in the neighbourhood. Large areas of artificial stone are not appropriate. Facing brick should match examples that exist in the neighbourhood. Brickwork in either English or Flemish bond is preferred to stretcher bond. Render on masonry backgrounds should be roughcast or wood floated with external corners formed by hand rather than by use of metal stop beads. Self coloured render systems used in conjunction with external insulation or rainscreen cladding should not be used in areas that are visible to the public within the conservation area. Plinths, string courses, cornices and rustication in stone or artificial stone are encouraged.

4.2 Pitched roof coverings should be natural slate, clay plain tiles or clay double roman tiles. Use of artificial slate and concrete plain tiles or interlocking tiles should be avoided. Plastics and UPVC should not be used for visible roof components. Solar panels and photovoltaic cells incorporated into the roof design should sit in the plane of the roof to ensure minimal visual intrusion and should not be in roofs facing the street.

4.3 Chimneys should be of brick and no less than three bricks in width and two bricks in breadth with tops finished with at least six courses of corbelled bricks. On terraced buildings, chimneys should be on cross walls between property lines. Wherever possible, mechanical ventilation stacks and soil vent pipes should be enclosed within chimneys.

4.4 Windows should be framed in painted wood or self-coloured aluminium. Vertical sliding sash or side hung opening lights are preferred. Windows in the conservation area should match original historic examples. Stained timber, UPVC, aluminium or plastic-coated timber frames are not appropriate. Top hung windows that mimic sash windows, pivot windows, and windows with asymmetrical subdivision should be avoided. Windows with 'clip on' or integral (sandwiched within double glazed units) glazing bars should also be avoided. Sash windows should incorporate timber glazing bars to provide smaller panes of glass. Adjacent opening lights and fixed lights in casement windows should match and look identical from the outside. These points apply to new buildings, conversion of existing buildings and replacement of existing windows.

4.5 Apart from industrial buildings, external doors should be constructed in timber, with or without a metal core, and painted, either vertically boarded or panelled, with or without a fanlight above. Varnished hardwood and moulded or pressed UPVC doors are not appropriate, regardless of building design.

4.6 Door canopies and porches are encouraged. Solid, enclosed porches are normally to be avoided. Fibreglass or simulated elements are not appropriate. Roofing on porches and door hoods should refer to the roofing material of the principle structure.

4.7 Gutters and rainwater pipes may be aluminium, copper, steel or black PVC.

4.8 Dormers should be of a scale and materials that suits the roof within which they sit. Dormers that do not rise directly from the fabric of the main wall should be no more than 2 lights wide and placed no less than 900mm from the gable end or party wall.

4.9 Where balconies are incorporated into buildings these should be large enough to accommodate two people seated at a table.

4.10 Porch lights should be fixed to soffits of canopies. Coach lamps, bulkhead lights or similar fixed to walls should be avoided. Neon lighting should be avoided on houses and automatic lighting sited so that it cannot be set off by movement in the public realm.

4.11 Burglar alarm boxes should be located where they have minimal visual intrusion and where they are audible from the exterior of the building.

4.12 Electric and gas meters should not be located on/in the external wall on the front of buildings or appear on surfaces visible to the public view.

4.13 Freestanding walls should be built of the same materials on the principal building walls and generally follow the natural contours of the ground. Coursing in brickwork wall should always be horizontal.

4.14 Railings should be painted metal and match examples that exist in the neighbourhood.

4.15 Gates should be painted metal or solid timber, the same height as the walls in which they occur.

# Appendix 4 – Old Market Quarter Shop Front Design Guidelines

## 1.0 Introduction

1.1 The aim of these guidelines is to improve the state of the buildings in our high street. Many people already visit Old Market to see its interesting and historic architecture. Careful improvement of the run down and poorly altered shops would have the positive effect of attracting more people which in turn would improve potential trade for the retailers. Better shops attract better tenants and more customers. Poorly designed and adapted shop fronts are not only harder to let, they can also have a negative impact on neighbouring businesses.

1.2 These guidelines have been written to help owners of shops in Old Market Quarter when undertaking replacement, renovation or adaptation of their shop fronts. When a shop front is to be altered a planning application must be submitted to the Council. These guidelines will be used by the Council to assess the planning application. There are other good reasons to follow the guidelines firstly because Old Market is a conservation area and secondly to exploit the potential for increasing trade and the value of the property.

1.3 Creating a well-proportioned, sympathetic shop front need not cost the earth especially where a major renovation is being carried out. The historic architecture of Old Market Quarter is one of its real attractions, making good quality changes to that architecture can only have a long term positive effect for all.

## 2.0 Shop Front Design

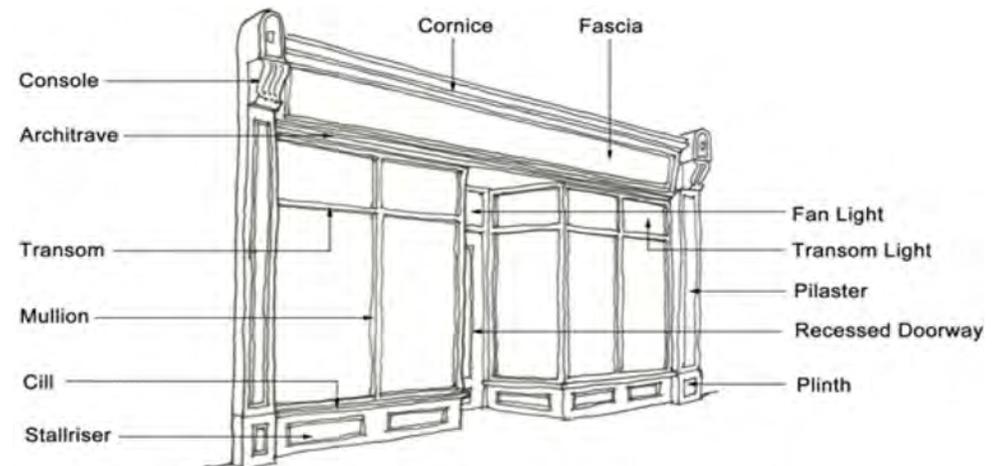
2.1 The Old Market Neighbourhood contains a high proportion of shop fronts built during the Victorian period, some original fronts still exist. Alongside these there are also examples of Georgian and 20th century shop fronts. Characteristics of shop fronts from each of these periods are:

- Georgian - designs that follow classical principles of composition, proportion, detail and decoration. Generally timber shop fronts of simple geometric form with small pane glazing. A typical example is 42 Old Market Street.
- Victorian - designs that loosely follow classical principles but with pronounced decorative elements. The shop fronts have a strongly vertical emphasis with larger areas of sheet glass divided by mullions. Typical examples are 46 Old Market Street and 77- 81 West Street.
- Twentieth Century - designs that further simplified the earlier types using large unbroken areas of glass and metal framing systems and little or no ornamentation. A typical example is 61 Old Market Street.

2.2 The Victorian shop front design is one of the most successful and many businesses still trade from them. The various architectural elements, proportions and scale of these shop fronts make them well suited to historic high streets such as those in Old Market Quarter.

2.3 Traditional shop front design has a proportion of total width of shop front 1.8 times the total height. The shop front extends no closer than 300 mm to the centre line of the party wall. The fascia is never deeper than one fifth of the shop front height.

2.4 The traditional shop front comprises stall riser, door(s), glazing (split by mullions and transoms), architrave, fascia and cornice; set between pilasters, on a plinth, and supporting consoles, generally on the line of party walls.



## 3.0 Repairs and Reinstatements

3.1 Retention and repair of existing shop fronts is preferred in contrast to removal and replacement.

3.2 Original features that remain should be used to inform the design of elements to be incorporated into the repairs.

3.3 Where shop fronts have been removed from historic buildings, their reinstatement should be to a traditional design that is appropriate and sympathetic to the age of the building of which the shop front forms part.

## 4.0 New Shop fronts

4.1 New shop fronts for buildings of traditional appearance should adhere to the principles and incorporate all the elements of traditional shop front design.

4.2 New shop fronts in buildings that are not traditional in appearance should be of a modern design, that nevertheless follow the principles of traditional shop front design.

## 5.0 Materials and Details

5.1 Traditional shop fronts should be built entirely of wood but may include cast iron or cast aluminium framing to glass, with display window, door, stall riser and sign fascia all integrated in one single construction.

5.2 In shop fronts of traditional design, timber sections should not be rectangular; mullions and transoms of tapered, lambs-tongue or rounded section are preferred. Moulded cills should be provided beneath the bottom framing members, protruding over the stall riser, which may be timber panelled, tiled, rendered or stone.

5.3 Timber shop fronts should be painted; stained hardwood is not appropriate.

5.4 Shop fronts colours should be appropriate to the style and period of the shop front. Dark colours are preferred; they complement the dark appearance of the glass and provide a visually solid base to the upper floors of the building.

5.5 Modern shop fronts can be constructed in wood or metal however mill finish aluminium is not considered suitable.

## 6.0 Signage and Advertising

6.1 One fascia sign and one projecting sign should be provided above each shop window.

6.2 Projecting signs should be the traditional hanging type and fixed centrally on a pilaster at least 2.5m above the pavement.

6.3 Internally-illuminated plastic fascias and signs should be avoided. Indirect external illumination by hooded spotlights, halo lighting or trough lighting is preferred.

## 7.0 Security

7.1 External security shutters should be avoided. They have a negative impact on the area in many ways; they encourage tagging graffiti, when closed they make the shop 'dead' in terms of visual advertising and they can make a street feel unsafe to people using the night time businesses (especially relevant to Old Market Quarter). An abundance of metal roller shutters tends to be associated with areas of high crime rates and low prosperity; in every respect they are just bad for trade.

7.2. If shutters are required they should be internal and of the open lattice type.

7.3 Where an alteration is proposed to a shop front that has an existing external shutter fitted, this should be removed and, if necessary, be replaced by an internal type.

7.4 There might be exceptions to the above (for insurance reasons), which would need to be examined on a case by case basis

## 8.0 Glossary of Terms

- Canopy/Awning - an external shade that folds or rolls out providing shelter and shade.
- Capital - an ornamental feature at the top of a pilaster.
- Cill - a horizontal element at the bottom of the window frame.
- Clerestory - a raised element of fenestration.
- Console/Corbel - a decorative or plain bracket used to support a horizontal feature. Its height determines height of fascia.
- Console bracket - a bracket with an outward curving scroll, located at the top of a pilaster.
- Cornice - a projecting, decorative or plain moulding found along the top of a building, on a shop front it is the area above the fascia.
- Fascia - the surface between the fenestration and the cornice on a shop front, often where the shop sign is positioned.
- Fanlight - a fan-like window placed over another window or commonly a doorway.
- Halo lighting - typically used for back-lit letters to create a glow of light around the letters by illuminating the wall surface from within the letterform.
- Moulding - a continuous projection or groove used decoratively to throw shadow or rain water off a wall.
- Mullion - a vertical element that forms a division between units of a window or door.
- Pilaster - a vertical structural part of a building which acts as a dividing element between shops, usually sitting forward of the shop front.
- Plinth - Moulded projecting base upon which a column, pedestal or structure rests. Usually resting on the ground.
- Stallriser - the solid panel below the window cill on a shop front, which raises the window up from ground level.
- Transom - a horizontal element that forms a division between units of a window or door.
- Trough lighting - an enclosed lighting unit that is supported on brackets and shines light externally - typically onto a fascia board below.

## Appendix 5 – Old Market Quarter Listed and Unlisted Buildings of Merit

No(s).	Identity	Age	Grading	Ext. walls	Windows	Roof	Features	Work required
<b>West Street - North Side</b>								
1-2	Palace Hotel	1870	grade II	stone	mostly original	slate mansard	flamboyant elaborate stone detailing	repair stonework; remove fans from 2 windows replace with glass; repair other windows
3	Vanoosh	1831-1900	character	render	original timber sash	parapet	new timber shopfront (poor design)	replace shop front
13-15	The Arcade	1900-1910	merit	stone	1 <sup>st</sup> and 2 <sup>nd</sup> floors - louvred top lights; 3 <sup>rd</sup> floor - sash	double gable	elaborate stone detailing; 1960's aluminium shopfront	fit new shop front; replace 1 <sup>st</sup> and 2 <sup>nd</sup> floor windows
25	Empire Theatre (ex-bank)	1831-1900	merit	stone	timber with leaded fanlights	parapet		none
27	M+K Hair Salon	1831-1900	character	brick	timber sash	parapet	aluminium shopfront with stone stallriser	replace fascia and sign
29-31	MIS Pizza & Kebab	1946-1980	character	render	original timber sash	parapet	timber shopfront	none
33	A Class Barbers	1946-1980	character	render	plastic sash	parapet	timber shopfront	none
39	Old Market Cafe	post 1981	character	brick	timber sash	parapet	timber shopfront; plastic sign	replace sign
41	Gbolahon Foods	post 1981	character	render	timber sash	parapet	timber shopfront	none
43	Andy's Sandwiches	1831-1900	character	render	original timber sash	parapet	good timber shopfront	relocate meters from side wall
45	Advice Shop	1831-1900	character	render	original timber sash	parapet	good timber shopfront	none
47	Adisplay	1831-1900	character	render	original timber sash	parapet	good timber shopfront	none
53	Andrews Gents Hairdresser	1831-1900	character	render	upvc	parapet	aluminium shopfront	replace windows; replace shopfront
55	Top Nosh	1831-1900	character	render	upvc	parapet	timber shopfront; artificial stone stallriser; poor sign	replace windows; replace stallriser; replace sign
57	Fi Real (ex-bank)	1831-1900	merit	stone	original sash	parapet	elaborate stone detailing	none
67	vacant	1831-1900	character	render	upvc windows	parapet	upvc shopfront; missing fascia/sign	replace windows; replace shopfront including fascia
69	vacant	1831-1900	character	render, stone surrounds	upvc windows	parapet	plastic shopfront	repair stonework; replace upper windows; replace shop front
71	Changing Lives	1831-1900	character	brick	upvc windows	parapet	timber shopfront, not original	replace windows
73	Wellness	1831-1900	character	brick	timber sash	parapet	good modern timber shopfront	none
75	vacant	1831-1900	character	brick	plastic top hung	parapet	modern timber shopfront	add more detail to shop front eg cornice and consoles; replace upper windows
77	HRS Motorcycles	1831-1900	character	stone	timber sash	parapet	elaborate stone detailing; good timber shopfront	none
79-81	HRS Motorcycles	1831-1900	character	brick	timber sash	parapet	good timber shopfront	none
83	Ashton Realwoods	1831-1900	character	brick	timber sash	parapet	good timber shopfront	none
85-87	Electric Ladyland	1831-1900	character	brick	timber sash	parapet	good timber shopfront	replace broken glass and boarded up shop windows; repair upper windows; repair cornice to shopfront
<b>West Street - South Side</b>								
2-4	BBB	1831-1900	character	render	timber sash	parapet	good timber shopfront	none
6	Arts West Side	1831-1900	character	render	timber sash	parapet	good timber shopfront	none

No(s).	Identity	Age	Grading	Ext. walls	Windows	Roof	Features	Work required
8-10	Terrence Higgins Trust	1700-1760	grade II	painted brick	timber sash	parapet; 2 dormers	good traditional timber shopfront	none
12	No. Twelve	1700-1760	grade II	render	timber sash	parapet	good traditional timber shopfront	none
14	Ebony Rose	1700-1760	grade II	render	1930's timber casement	parapet	timber shopfront	replace upper windows; reinstate first floor oriel window
16	The Retreat (ex-pub)	1831-1900	merit	render, stone surrounds to 2 <sup>nd</sup> floor	timber sash	parapet; 3 dormers	timber shopfront with rendered stallriser; 2no. oriels at first floor	
18	Cafe	post 1981	character	render	timber sash	parapet/mansard; 2 dormers	timber shopfront	none
20	Cafe	post 1981	character	render	timber sash	parapet/mansard; 2 dormers	timber shopfront	none
22	L & M Property Lettings	Pre 1700	grade II	render	17 <sup>th</sup> century casements	half timbered gable	modern shopfront, missing fascia	replace shopfront and fascia
24	Cash 4 Goodz	1831-1900	character	brick	modern timber sash	parapet	timber shopfront	replace fascia / sign
26	Positive Causes	1831-1900	character	brick	modern timber sash	gable	timber shopfront plastic sign	replace sign
28	flats	1700-1760	grade II	render (poor detailing)	modern timber sash (poorly detailed)	hipped/slates; single dormer		replace unconvincing false door
30	Flats over archway	1700-1760	grade II	render (poor detailing)	modern timber sash (poorly detailed)	parapet		
42-44		1831-1900	character	brick with stone detail	original timber sash	Parapet; 2 dormers	shop front boarded up	fit new shopfront
46	Temptations (ex-pub)	1831-1900	merit	painted brick, stone voussoirs	original timber sash	parapet	timber shopfront	repair stonework above one window
56	Autospares	1831-1900	character	render	1 <sup>st</sup> floor sash, 2 <sup>nd</sup> floor top hung	parapet	small part of original shop front remains	replace windows; replace shopfront incorporating remaining original features
58	Thread 58	1831-1900	character	render	sash	gable		none
60	Old Market Express	1831-1900	character	brick with stone detail	plastic	parapet	timber shopfront - no stallriser; plastic illuminated sign	replace windows; replace shopfront and fascia; replace sign
62	Office	1831-1900	character	brick with stone detail	plastic	parapet	good timber shopfront	replace windows
64-68	West Street Bizzar	1831-1900	merit	brick with stone detail	original timber sash	parapet/central gable/ double roman tiles	good timber shopfront	none
70	Bulgarian Food Market	1831-1900	character	brick with stone detail	original timber sash except 3 <sup>rd</sup> floor pvc	parapet	good timber shopfront	replace 3 <sup>rd</sup> floor windows
72	Rudies	1700-1760	grade II	render	original timber sash	parapet	good timber shopfront	none
74	Ace Catering	1700-1760	grade II	render	original timber sash	parapet	timber shopfront; 1 <sup>st</sup> floor oriel window	repair 1 <sup>st</sup> floor oriel window
76	Private Shop	1700-1760	grade II	lined render	original timber sash	parapet	good timber shopfront	none
78	Skin Deep	1831-1900	character	render	plastic casement	slate; single dormer	timber with external roller shutter	replace upper windows; replace shop front; remove roller shutter
80	Life of Si	1831-1900	character	render	plastic projecting top hung fake sash	parapet	Plastic shopfront	replace windows; replace shopfront
82	T E Stone Ltd.	1831-1900	merit	brick	timber sash	parapet	timber shopfront	none
84	T E Stone Ltd.	1831-1900	merit	stone and render	timber sash	parapet	3 arched openings in ground floor ashlar	none

No(s).	Identity	Age	Grading	Ext. walls	Windows	Roof	Features	Work required
86	Azzta	1831-1900	character	render	second floor plastic; first floor timber	parapet	timber shopfront; plastic/metal sign; 1 <sup>st</sup> floor bay	fit new 2 <sup>nd</sup> floor window; repair 1 <sup>st</sup> floor bay; fit new shop front on line of front of building; replace sign
88	Azzta	1831-1900	character	render (cracked)	second floor plastic; first floor timber	parapet	timber shopfront with external roller shutter; plastic/metal sign; 1 <sup>st</sup> floor bay	re-render walls; fit new 2 <sup>nd</sup> floor window; repair 1 <sup>st</sup> floor bay; remove roller shutter; replace sign
90	Olive Tree	1831-1900	character	painted brick	plastic top hung	parapet	good timber shopfront; poor sign	replace windows; replace sign
<b>Midland Road - East Side</b>								
1-3	BBB	1831-1900	character	render	timber sash	parapet	good timber shopfront	none
5	Martin's Fishing Tackle Shop	1831-1900	character	render	modern timber sash	parapet	good timber shopfront	none
7	Dicks Climbing	Post 1981	character	render	modern timber sash	parapet	good timber shopfront	none
9	Dicks Climbing	Post 1981	character	render	modern timber sash	parapet	good timber shopfront	none
11	Binstore	Post 1981	character	render	modern timber sash	parapet	blocked up shopfront	fit new shopfront
13	Tiffin Time	1831-1900	character	render	original timber sash	parapet	shuttered shopfront	replace fascia sign; remove external shutter; repair windows
15	Guaranteed Lets	1831-1900	character	render	plastic top hung fake sash	parapet	inappropriate doors	replace windows; replace doors
17	vacant ex CSV	1831-1900	character	render	timber sash	parapet	timber shopfront	replace door
19	Nemo Hair Design	1831-1900	character	render	plastic top hung fake sash	parapet	timber shopfront	replace windows
21	Lucs Chinese Takeaway	1831-1900	character	render	plastic top hung fake sash	parapet		replace windows
23-25	Addiction Recovery Agency	1831-1900	character	render	timber sash	parapet	good timber shopfront	none
27-29	Iroko	1831-1900	character	render	timber sash	parapet	good timber shopfront	none
31-33	Methodist Centre	1831-1900	character	render	timber sash	parapet	timber shopfront with rendered stallriser	none
35	vacant	1831-1900	character	render	plastic top hung fake sash	parapet	original timber fascia with aluminium shop front below	replace windows
37	vacant	1831-1900	character	render	plastic top hung	parapet	timber shopfront with rendered stallriser	replace windows
39	Puzzlair (ex-pub)	1831-1900	merit	render	modern timber sash	parapet		none
<b>Lawford Street - East Side</b>								
1	vacant	1831-1900	character	render	1 <sup>st</sup> floor timber sash; 2 <sup>nd</sup> floor plastic	parapet	shopfront boarded up; some original shop front detail intact	restore shop front including doors; repair 1st floor windows; replace 2nd floor windows;
2	vacant	1831-1900	character	render	1 <sup>st</sup> floor timber sash; 2 <sup>nd</sup> floor plastic	parapet	shopfront boarded up; some original shop front detail intact	restore shop front; repair 1 <sup>st</sup> floor windows; replace 2 <sup>nd</sup> floor windows
3	vacant	1831-1900	character	render	plastic, not original fenestration pattern	parapet	all detail of original façade has been removed	reinstate original window openings stone surrounds and timber sash windows; replace shop front
4	vacant	1831-1900	character	render	plastic, not original fenestration pattern	parapet	all detail of original façade has been removed	reinstate original window openings stone surrounds and timber sash windows; replace shop front
5	vacant (ex AA Taxis)	1831-1900	character	render	plastic, not original fenestration pattern	parapet	timber	reinstate original window openings stone surrounds and timber sash windows; replace shop front

No(s).	Identity	Age	Grading	Ext. walls	Windows	Roof	Features	Work required
6	A A Taxis	1831-1900	character	render	plastic	parapet	new timber shop front	replace windows; replace shopfront
7	Vacant, ex Whole Baked Cafe	1831-1900	character	render	plastic vertical sash	parapet	timber shopfront	
8	vacant	1831-1900	character	render	plastic vertical sash	parapet	timber shopfront	
9	vacant	1831-1900	character	render	plastic vertical sash	parapet	timber shopfront	remove extract fan from wall
10	vacant	1831-1900	character	lined render	plastic vertical sash	parapet		
<b>Lawford Street - West Side</b>								
18	Thompsons Solicitors	1831-1900	merit	rubble, ashlar dressings	timber	gable parapet / pantiles		none
<b>Old Market Street - North Side</b>								
21	Quorum (façade)	1831-1900	merit	brick	timber sash and casements	parapet; central gable	aluminium shopfront	none
22	vacant	1831-1900	grade II	brick, stone and tile hanging	ornamental bay with casements, timber	gable	timber shopfront	none
23	Punch Bowl	1700-1760	grade II	render	original timber sash	parapet	timber shopfront with tiled surround	none
24	Bagelicious	1831-1900	character	render	timber casements	parapet	timber shopfront	none
25a	First choice rented homes	1901-1945	merit	stone	original timber sash	mansard/slates	timber shopfront	replace stallriser
	Central Hall	1901-1945	merit	stone	original timber sash	stone tower with copper cupola	entrance archway	none
25b	Peter Carol	1901-1945	merit	stone	original timber sash	mansard/slates	timber shopfront with rendered stallriser	remove lower sign to reveal transom lights
26	flats	1831-1900	grade II	stone	original timber sash	parapet/pantiles; single dormer		none
27	flats	1831-1900	grade II	stone	original timber sash	parapet/pantiles; single dormer		none
28	flats	1831-1900	grade II	stone	original timber sash	parapet/pantiles; single dormer	poor outward opening door with guardrail	replace door and remove guardrail
29-30	Old Market Tavern	Pre 1700	grade II	render	original timber sash	parapet/pantiles; two dormers	timber shopfront	none
31	Dainese Pro Shop	Pre 1700	grade II	painted brick	timber sash	parapet/pantiles	timber shopfront with glass tile stallriser and pilasters	reinstate original shop front features; repair windows
32	Cabot Mews	1700-1760	grade II	render	timber sash	pantiles; two dormers	timber shopfront	none
		Post 1981	character	Stone, brick and render	Aluminium faced timber	pantiles	Steel balconies	none
33	William Hill	1700-1760	grade II	painted brick	original timber sash	pantiles	timber shopfront rendered stallriser	replace sign
35	Bristol Mind	Pre 1700	grade II	lined render	plastic (dreadful)	parapet/pantiles; single dormer	timber shopfront	replace windows; repair shopfront
36	IDH Old Market	1700-1760	grade II	brick	timber sash and casement	pantiles; single dormer	timber shopfront	none
37	IDH Old Market	1700-1760	grade II	render	original timber sash 3 storey bay	pantiles; single dormer	3 storey bay	replace plastic windows on first and second floor of bay
38-39	BASE	Pre 1700	grade II	lined render	timber sash and casement	hipped gable/ pantiles	timber shopfront	none

No(s)	Identity	Age	Grading	Ext. walls	Windows	Roof	Features	Work required
40	Pertemps	Pre 1700	grade II	render	original timber sash	gable/pantiles	timber shopfront with boxed out sign	replace sign; repair windows
41	Pertemps	Pre 1700	grade II	render	original timber sash	gable/pantiles	timber shopfront with boxed out sign	replace sign; repair windows
42	Scandia Foods Gloden Ltd	1700-1760	grade II	lined render	timber sash	hipped/pantiles; single dormer	timber shopfront	none
44	Trinity Mews	1831-1900	merit	brick, stone dressings	metal casement	gable		none
46	No. 46 Cafe	1761-1830	grade II	lined render, painted	original timber sash	parapet	timber shopfront	
47	Hungarian Delicatessen	1761-1830	grade II	brick	original timber sash	parapet; single dormer	timber shopfront with back illuminated shop sign	replace sign
48	Global	1761-1830	grade II	brick	original timber sash	parapet/pantiles; two dormers	timber shopfront	none
<b>Old Market Street - South Side</b>								
	Barstaple House	1831-1900	grade II*	stone	metal and timber	gables/plain tiles	Chimneys/oriels	none
	Entrance gates, wall and drinking fountain	1831-1900	grade II	stone				none
50	Mobile Tech	1761-1830	grade II	render	original timber sash	parapet	timber shopfront with two roller shutters!	remove outer, external shutter; replace sign; restore windows
51	Vacant	1761-1830	grade II	render	original timber sash	parapet		restore windows
52	A Productions Ltd	1761-1830	grade II	render	timber sash	parapet	timber shopfront with roller shutter in large boxed out sign	remove roller shutter and sign
53	Proud (formerly the Masons Arms)	Pre 1700	grade II	render	timber sash	gable/pantiles	timber shopfront	none
54	Central Massage	1831-1900	character	painted brick	upvc	parapet	timber shopfront	replace windows
55	Vacant	1831-1900	grade II	painted render	1 <sup>st</sup> fl. timber sash; 2 <sup>nd</sup> fl. plastic casement	parapet/pantiles	timber shopfront; rendered stallriser	replace plastic windows
56	The Dentists Old Market	1831-1900	grade II	render	timber sash	parapet	timber shopfront; no fascia; poor sign	fit fascia and replace sign
57	Hounsfield Printing	1831-1900	character	brick	upvc fake sash	parapet	timber shopfront	replace windows
58	1625 Independent People	1831-1900	character	lined render	timber sash	parapet		none
59	Kingsley Hall	1700-1760	grade II*	brick with stone detail	original timber sash	parapet	timber shopfront; stone pillars to arcade	none
60	vacant	Pre 1700	grade II	brick	timber casement	gable/pantiles	timber shopfront	
61	Two's Company	1946-1980	character	curtain walling	steel	parapet	steel/aluminium with roller shutter	none
62-67	The Refinery	1901-1945	merit	brick	timber sash and metal casement	slate mansard	central stone clad entrance archway	none
68	Old Market Studios	1700-1760	grade II	render	original timber sash	slate mansard/ pantiles	ground floor bay	remove plastic signs on 3 sides of bay
69	Pro-active People (UK) Ltd	Pre 1700	grade II	painted render	original timber sash	parapet; single dormer	pavement railings	repair windows
70	The Longbar (formerly the Three Horseshoes)	Pre 1700	grade II	render	timber casement	gable/pantiles	timber shopfront	none

No(s).	Identity	Age	Grading	Ext. walls	Windows	Roof	Features	Work required
71	Offices, Shepherds Hall Annex	Pre 1700	grade II	render	original timber sash	gable/pantiles	upper floor rooms subdivided without listed building consent	remove internal sub-division
74	Stagg and Hounds	Pre 1700	grade II	render	original timber sash and casement	gable/double romans	timber shopfront, timber gate and railings	none
<b>David Street - East Side</b>								
	Shepherds Hall	1901-1945	merit	brick	original sash and casement	double romans	ornamental iron gate	repair stonework
<b>Jacob Street - North Side</b>								
	Brew House	1831-1900	grade II	stone	aluminium	parapet/flat	robust stone detailing	recently refurbished
	The Refinery (ex drill hall)	1901-1945	merit	stone/render	metal	artificial slate	stone boundary wall with arches, metal railings and gates	none
110	private house	Post 1981	character	brick	metal	parapet/flat	roof terrace	none
114	Verdigris	1901-1945	character	brick	timber and metal	metal profiled sheet	refurbishment with modern additions including tower	none
	Jacob Court	1831-1900	character	rubble, brick dressings	timber	parapet/pantiles	gated entrance	none
<b>Jacob Street - South Side</b>								
	ex bacon factory smoke house	c.1927	character	brick	blocked up	two gables; no roof covering		refurbish building and incorporate into wider site development
<b>Passage Street - North Side</b>								
	Central Clinic	1901-1945	character	brick	aluminium	parapet/flat; tiled hipped centre	central additional storey marking entrance	clean brickwork; forecourt could be landscaped
	St Philip and St Jacob		grade II*	rubble, ashlar dressings	metal	lead sheet	tower; clock	
<b>Unity Street - North Side</b>								
	ex office over garage	1885-1890	character	brick	boarded up	double roman tiles		refurbish building and incorporate into wider site development
	ex bacon factory	1901-1945	character	brick	boarded up	none	roller shutter to archway	refurbish building and incorporate into wider site development
	ex St Johns Ambulance	1945-	character	brick	steel	flat	wide archway to street	refurbish building and incorporate into wider site development
	ex St Johns Ambulance	1901-1945	character	brick	boarded up	hipped/pantiles	wide archway to street	refurbish building and incorporate into wider site development
	ex St Johns Ambulance	1901-1945	character	brick	boarded up	hipped/pantiles		refurbish building and incorporate into wider site development
	Britannia Place	1901-1945	character	brick	boarded up	none	external wall only remains	incorporate into new building on site
<b>Unity Street - South Side</b>								
	Pride of the Forest	1831-1900	character	brick with stone arches	blocked up	none	external wall only remains	consider incorporating into new building on site
<b>Broad Plain - South Side</b>								
1		1831-1900	character	painted render	sash	parapet/hipped/double romans	archway	repair copings, render and windows; replace door
2		1700-1760	grade II	painted brick	sash	parapet/double roman tiles	triple height bay	repair bay

No(s).	Identity	Age	Grading	Ext. walls	Windows	Roof	Features	Work required
3	Denmans	1700-1760	grade II	painted brick	sash	parapet/double roman tiles	ground floor bay window	repair bay
4		1700-1760	grade II	painted roughcast	sash (original)	parapet/double roman tiles	double height bay	good condition
5		1700-1760	grade II	painted brick	sash	hipped/double romans; single dormer	shell hood to entrance	
6-7	Goldsmiths House	1700-1760	merit	painted brick	sash	parapet/mansard/double romans; four dormers	archway	
8-9	Setsquare Recruitment	1700-1760	grade II	painted brick	sash	parapet/mansard/double romans; three dormers		repair windows
10	Printers Devil pub	1761-1830	grade II	painted render	boarded up	pantiles; single dormer	ground floor bay window	refurbish complete building
<b>Straight Street - North Side</b>								
	Gardiner's Warehouse	1831-1900	grade II	stone and brick	steel	flat?	elaborate robustly detailed façade; tower on street corner; architect - W B Gingell	none
<b>Straight Street - South Side</b>								
	Gardiner's Warehouse (former soapworks)	1831-1900	grade II	brick	timber	parapet/slate		none
		1945-	grade II	curtain wall	steel	flat	aluminium shopfront	none
<b>Old Bread Street</b>								
	The Courtyard (former Hardware Warehouse)	1882	grade II	polychromatic brickwork	arched openings C20 metal casements	parapet	architect - W B Gingell	none
	The Courtyard (former Gardiner's Office)	1865-1867	grade II	stone with brick arches	arched openings C20 metal casements	parapet	architect - Foster and Wood	none
	Flats	post 1981	character	brick and render	aluminium	flat with projecting eaves	inset balconies	none
<b>Horton Street / New Kingsley Road</b>								
	Kingsley House	1901-1945	character	brick	aluminium	double romans		none
	Hannah More School	1831-1900	merit	brick	aluminium	gables/slate	gables - crows foot parapet and chimneys	none
<b>Barton Road</b>								
	Barley Mow	1831-1900	character	painted brick	timber	parapet		none
	Walls surrounding Jews Burial Ground	early C19	grade II	coursed pennant rubble				none
53-63	Houses	1831-1900	character	rendered	mixed	double roman tiles	chimneys	replace windows and doors to original pattern
<b>Birkin Street</b>								
3-11	Houses	1831-1900	character	brick and render	mixed	double roman tiles	stone bays chimneys	replace windows and doors to original pattern

No(s).	Identity	Age	Grading	Ext. walls	Windows	Roof	Features	Work required
2-20	Houses	1831-1900	character	brick and render	mixed	double roman tiles	chimneys	replace windows and doors to original pattern
21-31	Houses	1901-1945	character	brick	upvc	double roman tiles	gables chimneys	improve front boundary treatment
22-28	Houses	1901-1945	character	brick and render	mixed	double roman tiles	gables chimneys	
<b>Dings Walk</b>								
1-10	Houses	1901-1945	character	brick	generally upvc	double roman tiles	gables chimneys	improve front boundary treatment
<b>Barton Vale</b>								
1-3	Houses	1831-1900	character	brick and render	mixed	double roman tiles	chimneys	replace windows and doors to original pattern
4-7	Houses	1901-1945	character	brick	mixed	double roman tiles	gables chimneys	replace windows and doors to original pattern improve front boundary treatment
8-11	Houses	1901-1945	character	brick	upvc	double roman tiles	gables chimneys	improve front boundary treatment
<b>Tyler Street</b>								
2	House	1901-1945	character	brick + render	aluminium	double roman tiles	chimney	replace windows and doors to original pattern
4-16	Houses	1945-1981	character	brick	mixed	pantiles	chimneys	replace windows and doors to original pattern improve front boundary treatment
23-45	Houses	1831-1900	character	rendered	mixed	double roman tiles	chimneys	replace windows and doors to original pattern
<b>Union Road</b>								
	Magmatic Shaftesbury Chapel	1831-1900	merit	rubble, brick dressings	upvc	double romans		none
1-15	Houses	1901-1945	character	brick	mixed	double roman tiles	gables chimneys	replace windows and doors to original pattern improve front boundary treatment
10-32	Houses	1901-1945	character	brick	generally upvc	double roman tiles	gables chimneys	replace windows and doors to original pattern improve front boundary treatment
<b>Oxford Street</b>								
	Shaftesbury House	1831-1900	merit	brick	upvc	double romans		none
1-10	Houses	1901-1945	character	brick gf render ff	mixed	double roman tiles	gables chimneys	replace windows and doors to original pattern
11-18	Houses	1901-1945	character	brick	mixed	double roman tiles	gables chimneys	replace windows and doors to original pattern
<b>Kingsland Road</b>								
	Shaftesbury Crusade	1831-1900	merit	brick	timber and upvc	double romans; four gables	four 1 <sup>st</sup> floor oriel windows; low tower on corner	none
55-61	Houses	1901-1945	character	brick	mixed	double roman tiles	gables chimneys	improve front boundary treatment
63-69	Shops and flats above	1901-1945	character	brick	mixed	double roman tiles	gables chimneys	improve shop fronts

No(s).	Identity	Age	Grading	Ext. walls	Windows	Roof	Features	Work required
71-77	Houses	1901-1945	character	brick	mixed	double roman tiles	gables chimneys	replace windows and doors to original pattern improve front boundary treatment
<b>Gloucester Lane</b>								
25	Coach and Horses	1761-1830	grade II	render and painted brick	timber sash	parapet		none
46	Old Castle Green	1700-1760	grade II	render	timber sash	concrete bold roll	timber shopfront	none
47		1831-1900	character	painted render	timber sash	parapet	timber shopfront	none
48		1831-1900	character	painted render	timber sash	parapet	timber shopfront	none
<b>Braggs Lane -South Side</b>								
2-2a	Arcadia House	1831-1900	character	rubble, brick dressings	timber sash and casement	double romans		none
	Guild Heritage	1913	merit	brick and stone	timber sash and metal casements	double roman tiles and lower parapets	carved name in stone lintol over entrance	none
	Swift and Company (façade)	1901-1945	merit	tiled	two roller shutter doors	flat	Art Deco tiled façade	repair damaged tiles
<b>Lamb Street - South Side</b>								
	St Jude the Apostle	1831-1900	grade II	rubble, ashlar dressings	aluminium	double roman tiles	tower is a prominent landmark	none
	Annex to St Jude's church	1831-1900	grade II	rubble, ashlar dressings	metal	double roman tiles		none
<b>Redcross Street - North Side</b>								
7	Andalusia Academy annex	1700-1760	grade II	pre-cast conc. ashlar	metal timber sash	flat	birthplace of Sir Thomas Lawrence	about to be refurbished
	Andalusia Academy	1831-1900	merit	rubble, ashlar dressings	Metal; some upvc	slates	original stone transoms removed to fit upvc windows	replace upvc windows; reinstate stone transoms
<b>Redcross Street - South Side</b>								
13	Merchants Rest	1831-1900	character	brick	aluminium top hung	pan tiles		none
14		1901-1945	character	brick	timber casement	parapet		none
15	Central Hall	1901-1945	merit	brick	timber sash	slate mansard	flamboyant stone entrance	none
16	Amir Esmaeli's gym	1831-1900	merit	rubble and render	aluminium faced timber	pan tiles		none
	Perrett House and Redcross Mews	Post 1981	character	brick	timber + aluminium casements	pan tiles		none
<b>Redcross Lane</b>								
1&2	private houses	Post 1981	character	Stone and roughcast render	timber vertical sash	pan tiles	gabled	none
<b>New Street</b>								
9	Volunteer Tavern	1761-1830	grade II	painted render	timber sash	double roman tiles		none
23	Sevenways	1831-1900	merit	render and brick	aluminium	slate mansard	recently renovated, converted into flats and extended	none

No(s).	Identity	Age	Grading	Ext. walls	Windows	Roof	Features	Work required
<b>Champion Square</b>								
1-17	New Street Flats	1698-1700	grade II	painted render	timber casement	double roman tiles; dormers	an early example of a purpose built workhouse	none (refurbishment recently completed)
1	Phoenix pub, Wellington Buildings	1761-1830	grade II	painted render	timber sash	parapet		none
2-5	Wellington Buildings	1761-1830	grade II	brick, stone dressings	timber sash	parapet		none
	Future Inn Bristol	Post 1981	character	render	aluminium	flat		none
<b>Wade Street</b>								
1-3	Redwood House	dated 1904	merit	brick with stone lintols	aluminium	plain tiles	blocked up entrance door on corner	none
17	Brittans Pork Butchers	1700-1760	character	painted render	timber sash	double roman tiles	timber shopfront with tiled stallriser and timber shutters	repair roof
20	Mosque (ex pub)	1901-1945	character	render	upvc	artificial slate	two tiled arched openings on front	restore ground floor arched windows and tiled surround
<b>Little Anne Street</b>								
	Swan with Two Necks	1831-1900	merit	brick and pebbledash	upvc	parapet/pantiles		remove pebbledash, re-render; replace windows
	Old Malt House	1831-1900	merit	rubble with brick dressings	timber	metal sheet		reconfigure roof to its original shape and finish
	Fathomscape	1831-1900	character	painted render	steel and timber	metal sheet		
<b>Eugene Street</b>								
	Globe House	1901-1945	merit	brick	aluminium & timber	parapet/flat	ground floor openings blocked up	replace windows; reinstate openings; remove signs; remove grilles to windows
<b>Pennywell Road</b>								
	Vestry Hall	1831-1900	merit	stone	timber	parapet/pantiles	highly decorated	none
<b>Lawfords Gate</b>								
16	The Crown Tavern	1831-1900	merit	brick	upvc	parapet/pantiles	timber shopfront	clean façade; repair brickwork; replace windows
	St Nicholas Church	1831-1900	merit	rubble, ashlar dressings	church - metal, presbytery - upvc	slates		Replace presbytery windows
<b>Stapleton Road</b>								
3	Stapleton Road Tavern	1831-1900	character	unpainted render	upvc	artificial slate mansard	timber shopfront with fine cornice	paint render; restore shopfront
5	Vacant	1831-1900	character	render	upvc	double romans	timber shopfront	replace windows
7		1831-1900	character	render	upvc	double romans	timber shopfront, ground floor converted to residential	replace windows
16	Malik	1831-1900	character	render	upvc	parapet minus cornice	timber shopfront	replace windows; reinstate cornice
18	Bettys	1831-1900	character	render	upvc	parapet	timber shopfront	replace windows
20	Malik	1831-1900	character	render	upvc	parapet	timber shopfront	replace windows

No(s).	Identity	Age	Grading	Ext. walls	Windows	Roof	Features	Work required
22	Malik	1831-1900	character	render	upvc	parapet	excellent timber shopfront with curved glass in doorway	replace windows
24	Malik	1831-1900	character	render	upvc	parapet	timber shopfront	replace windows
26	Malik	1831-1900	character	render	upvc	parapet	timber shopfront	replace windows
28	Hodgsons	1831-1900	character	render	upvc	parapet	timber shopfront (plastic sign)	replace windows; replace shop sign
30	Hodgsons	1831-1900	character	render	upvc	parapet	timber shopfront	replace windows
<b>Trinity Road</b>								
	The Old Library (Spaceworks)	dated 1896	grade II	brick and stone	metal	slates	carved city crest over doorway, railings to pavement	clean brick and stone
	The Old Vicarage	1831-1900	grade II	polychromatic brick and stone	metal	plain tiles		clean brick and stone; repair stonework
	Holy Trinity Church	1831-1900	grade II*	ashlar	metal	lead sheet	west end twin towers	none
	Piers, perimeter walls and railings	1831-1900	grade II	stone and metal				none
<b>Clarence Road - North Side</b>								
	The Old Exchange	1901-1945	character	brick	aluminium	parapet	external spiral stair	none
<b>Easton Road</b>								
2-4	YMCA Training Centre	1831-1900	character	brick, stone dressings	ground floor – metal, upper floors - timber	mansard/slates; 1 dormer per bay		replace upper floor windows
6	Leisure Island Club	1831-1900	character	brick, stone dressings	original timber sash	parapet	1 <sup>st</sup> floor inset bay	replace shopfront; repair lh dormer window; replace rh dormer window
	Leisure Island Club	1831-1900	character	brick, stone dressings	blocked up	parapet		reinstate blocked up windows
20	LA Gym	1831-1900	merit	rubble, ashlar dressings	timber in arched openings	parapet	robustly detailed arcuated facade	repair 2 <sup>nd</sup> floor windows
<b>Lawrence Hill</b>								
1-5	YMCA Training Centre	1831-1900	character	brick, stone dressings	ground floor - metal upper floors - timber	mansard/slates; 1 dormer per bay	prominent end gable on corner of building; 1 <sup>st</sup> floor inset bay	replace upper floor windows
7	LA Gym	1831-1900	character	brick, stone dressings	timber sash, upvc in dormers	mansard/double romans; 2 dormers	1 <sup>st</sup> floor inset bay	replace shopfront; repair main windows; replace dormer windows
9	LA Gym	1831-1900	character	brick, stone dressings	upvc	mansard/double romans; 1 dormer	1 <sup>st</sup> floor inset bay removed and blocked in	replace shopfront; replace windows; reinstate inset bay
11	Vision in Design	1831-1900	character	brick, stone dressings	1 <sup>st</sup> floor upvc 2 <sup>nd</sup> floor timber	mansard/double romans; 1 dormer	1 <sup>st</sup> floor inset bay removed and blocked in	replace 1 <sup>st</sup> floor windows; repair 2 <sup>nd</sup> floor windows; replace dormer; replace shopfront; reinstate inset bay
13	Norman Properties	1831-1900	character	brick, stone dressings	upvc	mansard/double romans; 1 dormer	1 <sup>st</sup> floor inset bay removed and blocked in	replace shopfront; replace windows; reinstate inset bay
15	Q Cabs	1831-1900	character	brick, stone dressings	aluminium	mansard/double romans; 1 dormer	1 <sup>st</sup> floor inset bay removed and blocked in	replace shopfront; replace windows; reinstate inset bay
<b>Trinity Street</b>								
	Carpet Warehouse	1901-1945	character	stone and painted brickwork	roller shutter door, glazed aluminium door	metal sheet	included for historic interest	



# Appendix 6 – Old Market Quarter Community Facilities

## Community Halls

Name: Friends Meeting House  
 Address: Champion Square St Pauls Bristol BS2 9DB  
 Organisation: Quaker Meeting House  
 Type: Advice/community information centre  
 Facilities:
 

- Garden
- Kitchenette for hot drinks
- Meeting rooms
- Wheelchair accessible toilet(s)

Name: St Judes Community Room  
 Address: Tyndall House, Great Ann Street, Bristol BS2 9DU  
 Organisation: Bristol City Council  
 Type: Tenants meeting space  
 Facilities:
 

- Kitchenette for hot drinks
- Meeting room

Name: Rosemary Nursery and Family Unit  
 Address: Rosemary Nursery School Lamb Street Bristol BS2 ODU  
 Organisation: Bristol City Council  
 Type: Nursery/school/college or other educational building  
 Facilities:
 

- Kitchenette for hot drinks
- Meeting rooms
- Small interview / consultation rooms

Name: St Nicholas Of Tolentino  
 Address: Lawfords Gate Bristol BS5 0TJ  
 Organisation: St Nicholas of Tolentino  
 Type: Place of worship that allows general community use  
 Facilities:
 

- Garden
- Kitchen with oven and hob for food preparation
- Large room/conference hall / function room
- Meeting rooms
- Wheelchair accessible toilet(s)

Name: St Nicholas Catholic Primary School  
 Address: Pennywell Road Bristol BS5 0TJ  
 Organisation: Bristol City Council  
 Type: Nursery/school/college or other educational building  
 Facilities:
 

- Kitchenette for hot drinks
- Large room/conference hall / function room

Name: Trinity Road Library  
 Address: The Old Library Trinity Road Bristol BS2 0NW  
 Organisation: Trinity Road Library  
 Type: Office(s)  
 Facilities:
 

- Meeting rooms

Name: Deben House  
 Address: Basement & Ground Floor Flat 1 - 5 Lawrence Hill Bristol BS5 0BY  
 Organisation: YMCA  
 Type: Advice/community information centre  
 Facilities:
 

- Car park for visitors
- Kitchenette for hot drinks
- Meeting rooms
- Wheelchair accessible toilet(s)

Name: The Trinity Centre  
 Address: New Trinity Community Centre Trinity Road Bristol BS2 0NW  
 Organisation: Trinity Community Arts  
 Type: Large, multi-purpose community building ('community hub')  
 Facilities:
 

- Bar / servery
- Car park for visitors
- Garden
- IT suite
- Kitchen with oven and hob for food preparation
- Large room/conference hall / function room
- Meeting rooms
- Specialist facilities: recording studio / auditorium etc
- Stage
- Wheelchair accessible toilet(s)

Name: Salvation Army, Bristol Easton Corps  
 Address: Hassell Drive Bristol BS2 0AN  
 Type: Basic community centre/hall  
 Facilities:
 

- Car park for visitors
- Children's play area
- Kitchen with oven and hob for food preparation
- Kitchenette for hot drinks
- Large room/conference hall / function room
- Meeting rooms
- Showers
- Small interview / consultation rooms
- Specialist facilities: recording studio / auditorium etc
- Stage
- Wheelchair accessible toilet(s)

Name: Arts West Side  
 Address: 6 West Street, BS2 0BH  
 Organisation: Trinity Community Arts  
 Type: Community rooms and offices  
 Facilities:
 

- Community cafe
- Meeting room

Name: Hannah More Primary School  
Address: New Kingsley Road Bristol BS2 0LT  
Organisation: Bristol city council  
Type: Nursery/school/college or other educational building  
Facilities:

- Large room/conference hall / function room
- Meeting rooms

Name: Dings Youth Club  
Address: Youth Club The Dings Park Oxford Street St Philips Bristol BS2 0QU  
Organisation: Dings Youth Club  
Type: Youth facility  
Facilities:

- Kitchenette for hot drinks
- Meeting rooms

### Day Centres

Name: Methodist Centre  
Address: 31-33 Midland Rd, Bristol BS2 0JT  
Organisation: Methodists

Name: Novas Day Centre  
Address: New Street Centre, New Street, St Pauls, BS2 9DX  
Organisation: Bristol Cyrenians

Name: Salvation Army  
Address: Hassell Drive Bristol BS2 0AN  
Organisation: Salvation Army, Bristol Easton Corps,

### Council Offices

Name: Phoenix House  
Address: Phoenix Court Ground Floor Bond Street South Bristol BS1 3PH  
Organisation: Bristol City Council  
Type: Council information & customer service point

### Nursery school

Name: Rosemary Early Years Centre  
Address: Lamb Street, St Jude's Flats, Bristol, BS2 0DU

### Primary schools

Name: St Nicholas Of Tolentino Catholic Primary School  
Address: Pennywell Road, Lawfords Gate, Bristol, BS5 0TJ

Name: Hannah More Primary School  
Address: New Kingsley Road, St Philips, Bristol, BS2 0LT

### All age school

Name: Andalusia Academy  
Address: Redcross Street, St Philips, Bristol, BS2 0LT

### Health centres and clinics

Name: Lawrence Hill Health Centre  
Address: Lawrence Hill Health Centre, Hassell Drive, St Philips, BS2 0AN

Name: Central Health Clinic  
Address: Orange Mast, Central Health Clinic, Tower Hill, St Philips

### GPs

Name: Dr D S Walsh & Partners  
Address: Lawrence Hill Health Centre, Hassell Drive, St Philips, BS2 0AN

### Dentists

Name: ADP Old Market  
Address: 35, Old Market Street, St Philips, BS2 0EZ

Name: The Dentists  
Address: 56, Old Market Street, St Philips, BS2 0ER

### Pharmacies

Name: Lloyds Pharmacy  
Address: Lawrence Hill Health Centre, Hassell Drive, St Philips, BS2 0AN

### Places of Worship

Name: St Philip and St Jacob  
Address: Tower Hill, St Philips, BS2 0ET

Name: St Nicholas Of Tolentino RC Church  
Address: Lawfords Gate, Bristol BS5 0RE

Name: Al Baseera Bristol Mosque  
Address: 20 Wade Street, Bristol BS2 9DR

Name: Trinity Tabernacle  
Address: Hassell Drive, St Philips, BS2 0AN

Name: Society of Friends (Quakers)  
Address: Friends Meeting House, Champion Square, St Pauls, Bristol BS2 9DB

## Pubs

Name: Stag and Hounds  
Address: 74 Old Market Street, St Philips, BS2 0EJ

Name: Long Bar  
Address: 70 Old Market Street, St Philips, BS2 0EJ

Name: Punchbowl  
Address: 23 Old Market Street, St Philips, BS2 0HB

Name: Old Market Tavern  
Address: 29-30 Old Market Street, St Philips, BS2 0HB

Name: The Lounge (formerly the Masons Arms)  
Address: 53 Old Market Street, St Philips, BS2 0ER

Name: The Palace  
Address: 1 West Street, St Philips, BS2 0DF

Name: BBB  
Address: 2-4 West Street, St Philips, BS2 0BH

Name: Retreat  
Address: 16 West Street, St Philips, BS2 0BH

Name: Eagle Tavern  
Address: 49-51 West Street, St Philips, BS2 0HB

Name: Coach and Horses  
Address: 25 Old Gloucester Lane, St Philips, BS2 0DP

Name: Volunteer Tavern  
Address: 9 New Street, St Philips, BS2 9DX

Name: Phoenix  
Address: Wellington Buildings, Champion Square, St Pauls, BS2 9DB

Name: Swan with Two Necks  
Address: 12 Little Ann Street, St Philips, BS2 9EB

Name: Crown Tavern  
Address: 17 Lawford's Gate, St Philips, BS2 0DY

Name: Barley Mow  
Address: 39 Barton Road, St Philips, BS2 0LF

## Police Station Police Station

Name: Trinity Road Police Station  
Address: Trinity Road, St Philips, BS2 0NW

## Recycling Centre

Name: St Philips Household Waste Recycling Centre  
Address: Refuse Transfer Station, Days Road, St Philips, BS2 0QS

## Children's play areas

Name: St Judes Flats CPG  
Type: Childrens Play Space

Name: George Jones Park  
Type: Multi Use Games Area

Name: Hassell Drive Open Space  
Type: Childrens Play Space

Name: The Dings Park  
Type: Childrens Play Space  
Multi Use Games Area

## Parks and green spaces

Name: St Phillips & St Jacobs Burial Ground  
BCC Code: STPHSTJABU

Name: St Matthias Park Green Space  
BCC Code: STMAPACP

Name: Redcross Street Open Space  
BCC Code: REDCSTOS

Name: St Judes Flats CPG  
BCC Code: STJUFLCPG

Name: George Jones Park  
BCC Code: GEORJOPA

Name: Lawfords Gate Park  
BCC Code: LAWFGA

Name: Clarence Road Open Space  
BCC Code: CLARRO

Name: New Town Open Space  
BCC Code: NEWTOOS

Name: Hassell Drive Open Space  
BCC Code: EAST6OS

Name: The Dings Park  
BCC Code: THEDIPA



# Appendix 7 – Old Market Quarter Residential Development Forecast

	Houses				Flats and maisonettes			Total
	5-bed	4-bed	3-bed	2-bed	3-bed	2-bed	1-bed	
<b>Recently Completed Development</b>								
Cabot Mews				2		26	14	42
Jacob Street			1					1
Seven Ways					2	6	4	12
St Nicholas Court			7			16	5	28
26-28 Gloucester Lane						5	9	14
51/57 West Street				1	1	1		3
82/84 West Street					2	2	1	5
9/11 Horton Street						1	6	7
The Zone						81	35	116
ND10					1			1
Dings House		1	2					3
51 Barton Road					3	3	4	10
22 Birkin Street				2				2
Stapleton Road Tavern				3			4	7
New Street Flats						16	1	17
<b>Sub-total</b>	<b>1</b>	<b>10</b>	<b>8</b>	<b>9</b>	<b>9</b>	<b>157</b>	<b>83</b>	<b>268</b>
<b>Predicted population (no. x beds x 1.25)</b>	<b>5</b>	<b>38</b>	<b>20</b>	<b>34</b>	<b>393</b>	<b>104</b>		<b>594</b>
<b>Short Term Future Development Sites</b>								
<b>Extant Planning Permission</b>								
Shepherds Hall					2	5		7
61 Old Market Street					1			1
Bastaple House conversion of chapel					1			1
3 Braggs Lane							14	14
Braggs Lane – land opp. Geometric House					5	22	11	38
42-44 West Street							2	2
Clarence House						6		6
Globe House					6	18	27	51
Wade Street/Little Ann Street		2	3			9	5	19
50 Wade Street						1		1
Hawkins Street, Unity Street, Jacob Street		2	4		15	22	5	48
26 Midland Road				1	1	8	3	13
Land adjacent to 9-11 Horton Street	3							3
Alpha House			1		1	8	3	13
47-49 Barton Road						3	6	9
Barton Road/Tyler Street				1				1
<b>Sub-total</b>	<b>3</b>	<b>4</b>	<b>8</b>	<b>2</b>	<b>30</b>	<b>99</b>	<b>81</b>	<b>227</b>
<b>Lapsed Planning Permission</b>								
24 Old Market Street							4	4
51 Old Market Street							2	2
1 West Street (Palace Hotel)						2	4	6
5-11 West Street					2	4	18	24
62 West Street							1	1
69-71 West Street						6	3	9
86-88 West Street						1	1	2
90 West Street						2	1	3
Land to rear of 60 West Street						4	3	7
2 Tyler Street						2	1	3
<b>Sub-total</b>					<b>2</b>	<b>21</b>	<b>38</b>	<b>61</b>
<b>Applications yet to be determined</b>								
7-10 Lawford Street							19	19
12-14 Pennywell Road							2	2
40-48 Midland Road			8	1		11	17	37
GRE Temple Way (adjacent to NDP area)							44	44
ND6 Avon Street (adjacent to NDP area)					9	50	20	79
<b>Sub-total</b>			<b>8</b>	<b>1</b>	<b>9</b>	<b>61</b>	<b>102</b>	<b>181</b>

<b>Current pre-application consultations</b>									
					student accommodation		220-250 rooms		
Evening Post Print Hall site						2	3	6	11
13-15 West Street								12	12
St Judes Vicarage								21	23
Redwood House							2	66	166
ND7 Avon Street (adjacent to NDP area)						10	90	256	340
BankPlace (adjacent to NDP area)						4	80		
<b>Sub-total</b>						<b>16</b>	<b>175</b>	<b>361</b>	<b>552</b>
<b>Sub-total Short Term Development Sites</b>	<b>3</b>	<b>4</b>	<b>16</b>	<b>3</b>	<b>34</b>	<b>136</b>	<b>196</b>	<b>392</b>	
<b>Predicted population (no. x beds x 1.25)</b>	<b>19</b>	<b>20</b>	<b>60</b>	<b>8</b>	<b>128</b>	<b>340</b>	<b>245</b>	<b>820</b>	
Including the 4 sites outside the NDP area									
<b>Sub-total Short Term Development Sites</b>	<b>3</b>	<b>4</b>	<b>16</b>	<b>3</b>	<b>57</b>	<b>356</b>	<b>582</b>	<b>1021</b>	
<b>Predicted population (no. x beds x 1.25)</b>	<b>19</b>	<b>20</b>	<b>60</b>	<b>8</b>	<b>214</b>	<b>890</b>	<b>728</b>	<b>3,919</b>	
<b>Medium Term Future Development Sites</b>									
Rear of 67-71 Old Market Street							4	2	6
Gloucester Lane/Braggs Lane		4	4				18	9	35
44 Gloucester Lane		3							3
Wade Street/Little George Street								5	5
Lawfords Gate/Wade Street corner							4	6	10
Redwood House							8	19	27
8-14 Pennywell Road							4	2	6
South side Clarence Road	7	6	4				25	12	54
West Street/Trinity Street Corner							6	12	18
Horton Street/Midland Road/Midland Street	3	4	2				10	6	25
Louisa Street/Midland Road/Barton Road							4	2	6
Leisure Island Site						3	12	12	27
3-7 Stapleton Road						2			2
8-14 New Street							3	3	6
Ambulance Station							8	40	78
<b>Sub-total</b>	<b>10</b>	<b>17</b>	<b>10</b>	<b>2</b>	<b>11</b>	<b>138</b>	<b>120</b>	<b>308</b>	
<b>Predicted population (no. x beds x 1.25)</b>	<b>63</b>	<b>85</b>	<b>38</b>	<b>5</b>	<b>41</b>	<b>345</b>	<b>150</b>	<b>727</b>	
<b>Long Term Future Development Sites</b>									
<b>- inside NDP boundary</b>									
Old Market Roundabout							student accommodation		120-150 rooms
Gardiner Haskins Car Park		26	34					72	35
Midland Road East Side		11	18					15	9
Little George Street Frome Riverside		17	12	5				15	9
Lawrence Hill Roundabout SW quarter 1		4	7					6	3
Lawrence Hill Roundabout SW quarter 2	3	9	3					21	14
<b>Sub-total</b>	<b>3</b>	<b>67</b>	<b>74</b>	<b>5</b>	<b>5</b>	<b>129</b>	<b>70</b>	<b>348</b>	
<b>Predicted population (no. x beds x 1.25)</b>	<b>19</b>	<b>335</b>	<b>278</b>	<b>13</b>		<b>323</b>	<b>88</b>	<b>1,056</b>	
<b>- adjacent to NDP boundary</b>									
Lawrence Hill Roundabout SE quarter	3	14	22					36	19
Lawrence Hill Roundabout NE quarter 1	18	23	7			10		18	9
Lawrence Hill Roundabout NE quarter 2	3	0	0					23	22
Lawrence Hill Roundabout NW quarter	10	12	7	2				49	33
<b>Sub-total</b>	<b>34</b>	<b>49</b>	<b>36</b>	<b>2</b>	<b>10</b>	<b>126</b>	<b>83</b>	<b>340</b>	
<b>Predicted population (no. x beds x 1.25)</b>	<b>213</b>	<b>245</b>	<b>135</b>	<b>5</b>	<b>38</b>	<b>315</b>	<b>104</b>	<b>1,055</b>	
<b>TOTAL - inside NDP boundary</b>									
<b>Sub-total</b>	<b>16</b>	<b>89</b>	<b>110</b>	<b>18</b>	<b>54</b>	<b>560</b>	<b>469</b>	<b>1,316</b>	
<b>Predicted population (no. x beds x 1.25)</b>	<b>100</b>	<b>445</b>	<b>413</b>	<b>45</b>	<b>203</b>	<b>1,400</b>	<b>586</b>	<b>3,192</b>	
Including 400 student rooms									
<b>TOTAL - including adjacent sites</b>	<b>50</b>	<b>138</b>	<b>146</b>	<b>20</b>	<b>87</b>	<b>906</b>	<b>938</b>	<b>1,945</b>	
<b>Predicted population (no. x beds x 1.25)</b>	<b>313</b>	<b>690</b>	<b>548</b>	<b>50</b>	<b>326</b>	<b>2,265</b>	<b>1,173</b>	<b>5,365</b>	
Including 400 student rooms									
Timescale: recently completed 2011-2014, Short term 2015-2018, Medium term 2019-2022, Long term 2023-2026									

